



CITY OF PORT ALBERNI

City Hall
4850 Argyle Street,
Port Alberni, BC V9Y 1V8
Telephone: 250-723-2146
www.portalberni.ca

Fax: 250-723-1003
File: DP 3060-20-22-01

Local Government Act (Part 26) NOTICE OF PERMIT

January 25, 2023

Land Title and Survey Authority of BC
Suite 200 - 1321 Blanshard Street
Victoria BC V8W 9J3

TAKE NOTICE that the land described below is subject to a permit issued by the
CITY OF PORT ALBERNI

PARTICULARS OF PERMIT

Permit Description

- (a) **Type of Permit:** Development Permit
- (b) **Statutory Authority:** Section 489 of the *Local Government Act*

Legal Description of Lands Affected: Lot 1, District Lot 1, Alberni District, Plan EPP117819

PID #: 031-660-266

Issue Date: January 24, 2023

Expiry Date (if any): N/A

FURTHER PARTICULARS OF THE PERMIT MAY BE OBTAINED FROM THE ISSUING
AUTHORITY

January 26, 2023
Date

Danielle Leurebourg
Danielle Leurebourg
Director of Corporate Services

Digital copies: Scott Smith, Dir. of Development Svc./Deputy CAO
Marianne Wade, Manager of Planning
Cara Foden, Planning Technician
Brian McLoughlin, Development Planner
Haley Stevenson, Development Planner
Rob Gaudreault, Building Inspector
David Rokeby-Thomas, Building Inspector

Mail to Applicant: W. Hoogland dba DYS Architecture and acting as agent for Citaapi Mahtii Housing Society
260 – 1770 Burrard Street, Vancouver, BC V6J 3G7



4850 Argyle Street | Port Alberni BC
V9Y 1V8 Canada
www.portalberni.ca
T. 250-723-2830
F. 250-723-3402

DEVELOPMENT PERMIT

Development Permit No.: 22-01

Registered Owner: Citaapi Mahtii Housing Society

Operator: Wally Samuel dba Citaapi Mahtii Housing Society
3568 7th Avenue, Port Alberni BC V9Y 4N4

Subject Property: 4210 Cedarwood Street, Port Alberni, BC

Legal Description: Lot 1, District Lot 1, Alberni District, Plan EPP117819

Parcel Identifier: 031-660-266

Proposal: Multi-Family Apartment Complex

CONDITIONS of PERMIT:

1. Development of the land to be undertaken shall be limited to the area shown on Schedule A.
2. Development of the land to be undertaken shall be in accordance with the development plans shown on Schedule B attached hereto and forming part of Development Permit No. 22-01.
3. The owner of the land shall provide the general contractor and all professionals associated with the development with copies of this permit.
4. The owner of the land shall maintain any undeveloped land in a neat and tidy condition at all times.
5. If there has not been any substantial commencement of construction with respect to which the permit was issued within two years after the date it was issued, the permit lapses.

The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Development Permit No. 22-01.

THIS IS NOT A BUILDING PERMIT

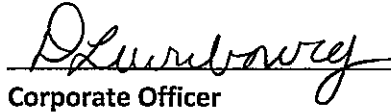
Development Permit No. 22-01

Page 2 of 4

January 26, 2023

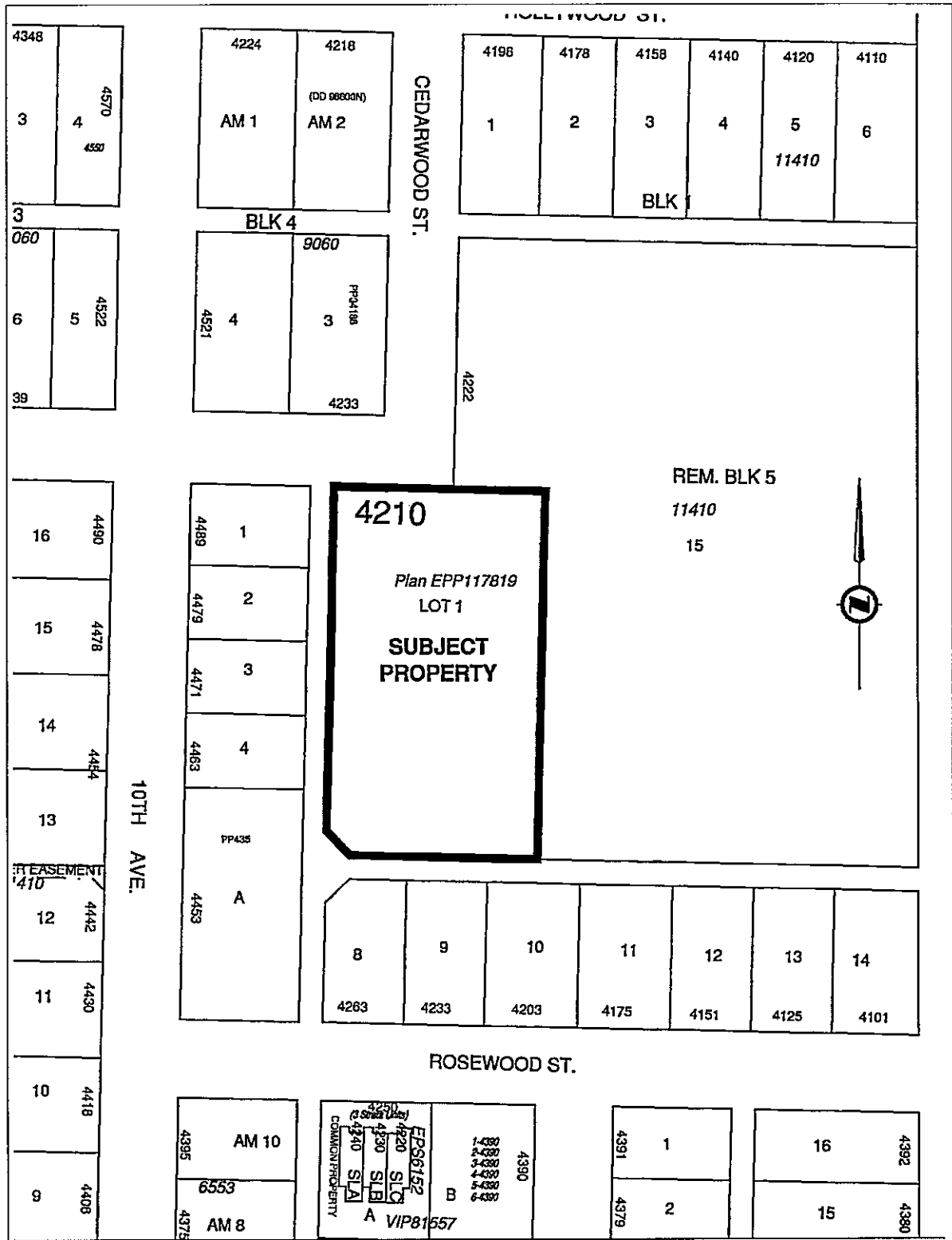
In accordance with the provisions of Section 489 of the *Local Government Act RSBC 2015*, approval of this Permit was granted by resolution of the City Council on January 23, 2023.

Authorized by


Corporate Officer

This Permit is issued under the Seal of the City of Port Alberni on January 24, 2023.

SCHEDULE A – Location Map



Development Permit No. 22-01
Page 4 of 4
January 26, 2023

SCHEDULE B
DYS Drawings

CITAAPI MAHTII PROJECT

4210 CEDARWOOD STREET, PORT ALBERNI, BC



CONSULTANT TEAM

CLIENT

CITAAPI MAHTII HOUSING SOCIETY
PORT ALBERNI, BC

HOUSING CONSULTANT

WALTER HOODLAND
384 CANTON CRESCENT ROAD
QUILICH BEACH, BC
TEL: 250-752-2500
CELL: 250-228-6133

FUNDING AGENCY

BC HOUSING
1101-4055 KENNEDY
VANCOUVER, BC V5H 4V8
TEL: 604-661-1700
FAX: 604-661-6629

ARCHITECT

DYS ARCHITECTURE
260-110 BURNARD STREET
VANCOUVER, BC V6J 3G7
TEL: 250-565-5860
FAX: 604-661-6629

STRUCTURAL

SCHREIBER TRUST ENGINEERING
5071 SOMERSET DRIVE UNIT C
NANAIMO, BC V9S 3B3
TEL: 250-756-4228

ELECTRICAL

IBS ENGINEERING LTD.
44 - 1050 NORTHFIELD ROAD
NANAIMO, BC V9S 3B3
TEL: 250-756-4228

CONTRACTOR

ISLAND WEST COAST DEVELOPMENTS LTD.
224 MCCULLOUGH ROAD
NANAIMO, BC V9S 4H8
TEL: 250-756-4665
FAX: 250-756-4626

GEOTECHNICAL

LEWIS ENGINEERING ASSOCIATES LTD.
SUITE A-2564 KENWOOD ROAD
NANAIMO, BC V9T 2H4
TEL: 250-756-0255
FAX: 250-756-3851

CIVIL

MCCELL 4 ASSOCIATES ENGINEERING LTD.
SUITE A-2564 KENWOOD STREET
PORT ALBERNI, BC V9T 2H4
TEL: 250-756-0255
FAX: 250-756-4400

LANDSCAPE

MCDONALD GRAY CONSULTANTS
84 HURONWOOD DRIVE
PARKSVILLE, BC V9P 1J1
TEL: 250-248-3084

ENVELOPE

HEROLD ENGINEERING LTD.
3101 CHESTNUT ROAD
NANAIMO, BC V9T 2H4
TEL: 250-751-2558

MECHANICAL

AVALON CONSULTANTS LTD.
5220 CABLE IN WAY RD
NANAIMO, BC V9T 0G2
TEL: 250-565-2180

DRAWING LIST

ARCHITECTURAL

- A0.01 COVER DRAWING LISTS
- A0.02 3D VIEW
- A0.03 3D VIEW
- A0.04 SITE SURVEY
- A1.01 SITE PLAN
- A1.02 MAIN DRAINAGE BUILDING
- A2.01 LEVEL 1 FLOOR PLAN
- A2.02 LEVEL 2 FLOOR PLAN
- A2.03 LEVEL 3 FLOOR PLAN
- A2.04 LEVEL 4 FLOOR PLAN
- A2.05 ROOF PLAN
- A2.06 ENLARGED LEVEL 1 - NORTH
- A2.07 ENLARGED LEVEL 2 - NORTH
- A2.08 ENLARGED LEVEL 2 - SOUTH
- A2.09 ENLARGED LEVEL 3 - NORTH
- A2.10 ENLARGED LEVEL 3 - SOUTH
- A2.11 ENLARGED LEVEL 3 - NORTH
- A2.12 ENLARGED LEVEL 4 - SOUTH
- A2.13 ENLARGED LEVEL 4 - NORTH
- A2.14 RESIDENTS AMENITY SPACE
- A3.01 NORTH & EAST ELEVATIONS
- A3.02 NORTH & WEST ELEVATIONS
- A4.01 BUILDING SECTIONS
- A4.02 BUILDING SECTIONS
- A5.01 WINDOW AND DOOR SCHEDULES
- A5.02 MATERIAL LEGEND, FINISH SCHEDULES AND CONNECTION ASSEMBLIES

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PROJECT STATISTICS

SITE ADDRESS 4210 CEDARWOOD STREET, PORT ALBERNI, BC		GROSS BUILDING AREA (GFA) CALCULATED PER CITY OF P.A. ZONING BY-LAW	
LEGAL DESCRIPTION LOT 1, DISTRICT LOT 1, ALBERNI DISTRICT, PLAN EPPHON P.S. 620-145-004		LEVEL 1 8554.6	
LOT SIZE 54,961 (5,062.2m ²)		LEVEL 2 8492.6	
P.S. 0.65		LEVEL 3 8360.1	
ZONING 60-5		LEVEL 4 8360.1	
PROPOSED USE MULTI-FAMILY RESIDENTIAL		TOTAL 35,438.4	
UNIT COUNT		CODE SUMMARY	
STUDIO 8 UNITS		B.C.B.C. 200 PART 3	
1 BED ACCESSIBLE 4 UNITS		FULLY SPRINKLERED BUILDING	
2 BED 4 UNITS		CONSTRUCTIBLE CONSTRUCTION	
3 BED 2 UNITS		MAJOR OCCUPANCY - G (RESIDENTIAL)	
4 BED 4 UNITS		FIRE SEPARATIONS WITHIN OCCUPANCIES	
TOTAL 30 UNITS		- 1 HR BETWEEN SUITES AND ACCESS TO EXITS	
LOT COVERAGE		- 1 HR SERVICE ROOMS	
ALLOWABLE (DOM) 21,241 (2,534.4m ²)		PROPOSED (DOM) 35,438.4 (4,044.4m ²)	
USEABLE OPEN SPACE		REQUIRED 15,813.3 (1,752.2 m ²)	
3.1 + 4 BED UNITS 15,813.3 (1,752.2 m ²)		PROPOSED 15,813.3 (1,752.2 m ²)	
STUDIO 1 & 2 BED UNITS 15,813.3 (1,752.2 m ²)		TOTAL 15,813.3 (1,752.2 m ²)	
TOTAL 15,813.3 (1,752.2 m ²)		TOTAL 15,813.3 (1,752.2 m ²)	
UNITS PER ACRE 28.0		SETBACKS	
ALLOWABLE 45'-0" (14.0m)		PROPOSED	
PROPOSED 50'-0" (15.2m)		FRONT YARD 10'-0" (3.0m)	
REAR YARD 24'-0" (7.3m)		REAR YARD 12'-0" (3.7m)	
WEST SIDE 16'-0" (4.9m)		EAST SIDE 30'-0" (9.1m)	
EAST SIDE 16'-0" (4.9m)		EAST SIDE 30'-0" (9.1m)	
BUILDING HEIGHT		ALLOWABLE 45'-0" (14.0m)	
ALLOWABLE 50'-0" (15.2m)		PROPOSED 45'-0" (14.0m)	
TOTAL 45'-0" (14.0m)		TOTAL 45'-0" (14.0m)	
PARKING		REQUIRED 30 STALLS	
ON-SITE RESIDENTIAL 1.25/UNIT 44 STALLS		PROPOSED 30 STALLS	
SMALL CAR (DOM) 0 STALLS		1 STALL*	
ACCESSIBLE (V.H. UNIT) 1 STALL*		6 STALLS*	
TOTAL 44 STALLS		TOTAL 30 STALLS	
TOTAL 44 STALLS		TOTAL 30 STALLS	

*ACCESSIBLE & SMALL CAR STALLS ARE INCLUDED IN ON-SITE RESIDENTIAL COUNT

Project Name	Citaapi Mahtii Housing			
Address	4210 Cedarwood St. Port Alberni, BC			
Building Type	Wood Frame Apartments			
Parking Type	Surface			
Function	Description of unit/ space	(F)/ unit or no. of units	Total F*	Total m ²
a - Residential Units	Studio A1	361.6	2	723.2
	Studio A2	361.5	4	1446.0
	Studio A3	368.3	2	736.6
	One Bedroom B1 (Accessible)	591.0	4	2364.0
	One Bedroom B2 (Accessible)	592.7	3	1778.1
	Two Bedroom C	743.2	4	2972.8
	Three Bedroom D1	947.0	4	3788.0
	Three Bedroom D2	937.0	4	3748.0
	Three Bedroom D3	933.5	4	3730.0
	Four Bedroom E	1177.7	4	4710.8
b - Resident's Amenity	HRV Level 1 (Units)	77.6	1	77.6
	HRV Level 2 (Units)	97.1	3	291.3
	Residents' Amenity Space Level 1	1459.7	1	1459.7
	Residents' Amenity Space Mezzanine	578.9	1	578.9
	H/C W/C	63.4	1	63.4
	Studio Storage	152.7	1	152.7
	Laundry	225.7	4	898.8
	Office	99.1	1	99.0
	Storage	47.5	1	47.5
	Corridor Level 1	1592.9	1	1592.9
c - Circulation	Corridor Level 2	1263.6	1	1263.6
	Corridor Level 3 & 4	2365.4	2	2365.4
	Elevator Mechanical	72.4	1	72.4
	Janitor	60.8	1	60.8
	Eltec/ Mech closet Level 2-4	60.8	3	182.4
	Mechanical Level 1 (Exterior)	252.8	1	252.8
	Electrical Level 1 (Exterior)	186.2	1	186.2
	Summary			
	a - Total Net Residential Area*			26344.4
	b - Total Net Resident's Amenity*			3141.5
	c - Total Net Circulation*			1465.3
d - Service Rooms	d - Total Circulation			5387.2
	e - Total Net Service*			243.2
	f - Net Livable*			35262.9
	Overall Building Efficiency			0.75
	Overall Building Efficiency (excluding Cultural Wing)			0.81

*Net areas have been measured to the outside face of plywood sheathing

CLIENT

CITAAPI MAHTII
(HOUSING) SOCIETY

NO. | DATE | ISSUE

- 1 [2022-11-18] ISSUED FOR RE-ZONING
- 2 [2021-07-13] BICM SCHEMATIC SUBMITTAL
- 3 [2022-04-28] REISSUED FOR RE-ZONING
- 4 [2022-05-12] 50% BC HOUSING REVIEW
- 5 [2022-05-10] 70% REVIEW
- 6 [2022-11-18] RE-ISSUED FOR DP

NO. | DATE | REVISION

PROJECT

4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

COVER SHEET

This drawing is an instrument of service, it is the property of the architect and shall not be reproduced, copied, or otherwise used without the written permission of the architect. Payment of all fees due to the architect shall be a condition precedent to the use of or use of this drawing in a manner prohibited by the architect.

Written dimensions shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability for the drawings. One drawing shall be submitted to the architect for review before proceeding with construction.

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DATE 2022-06-10

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1 NORTH VIEW



2 EAST VIEW

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dys architecture
265 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604 669 7710 www.dysarchitecture.com

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**CITAAPI MAHTU
(HOUSING) SOCIETY**

NO. | DATE | ISSUE

- 1 | NOV. 18 | ISSUED FOR RE-ZONING
- 2 | 2022-07-13 | BC SCHEMATIC SUBMITTAL
- 3 | 2022-04-26 | REISSUED FOR RE-ZONING
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PROJECT

4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

3D VIEWS

This drawing is an interpretive rendering of the project and is not to be used for construction purposes. All dimensions and conditions on the site and any other information shall be subject to the final design. This drawing shall be submitted to the client for review and approval. The client shall be responsible for the accuracy of the information provided. The client shall be responsible for the accuracy of the information provided. The client shall be responsible for the accuracy of the information provided.

Written documents shall have precedence over verbal communications. All dimensions and conditions on the site and any other information shall be subject to the final design. This drawing shall be submitted to the client for review and approval. The client shall be responsible for the accuracy of the information provided.

PROJECT A220484

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DATE 2022-06-10

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NO.	DATE	ISSUE
1	NOV. 18	ISSUED FOR RE-ZONING
2	2021-07-13	BCH SCHEMATIC SUBMITTAL
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NO.	DATE	REVISION
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PROJECT

4210 CEDARWOOD STEET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

3D VIEWS

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **dps** architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **dps** architecture for review before proceeding with fabrication.

PROJECT A220484

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DATE 2022-06-10

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4210 CEDARWOOD STREET
PORT ALBERNI, BC

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DATE 2022-06-10



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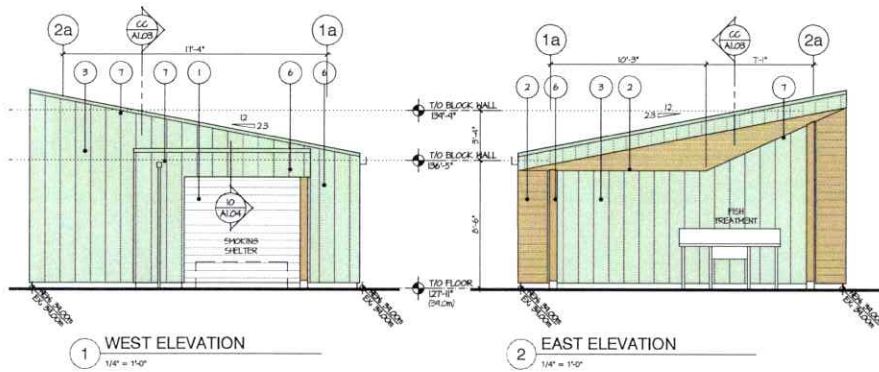
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CLIENT

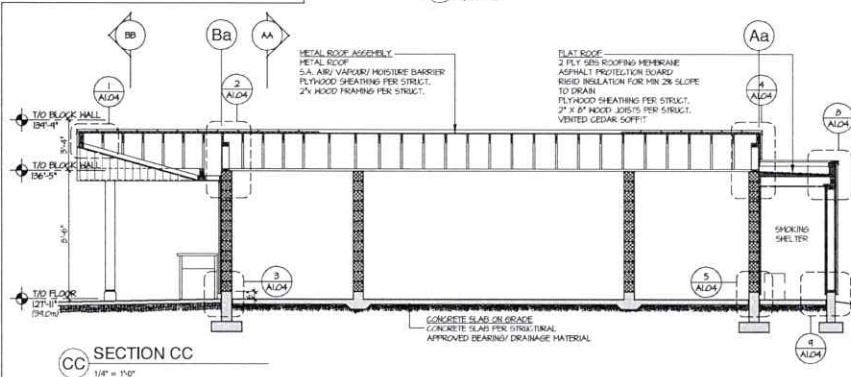
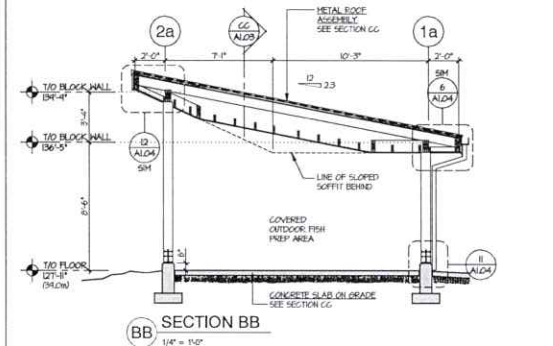
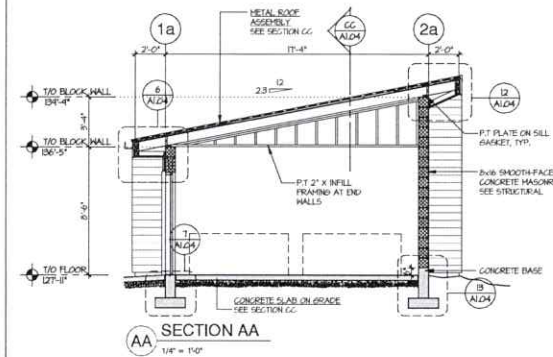
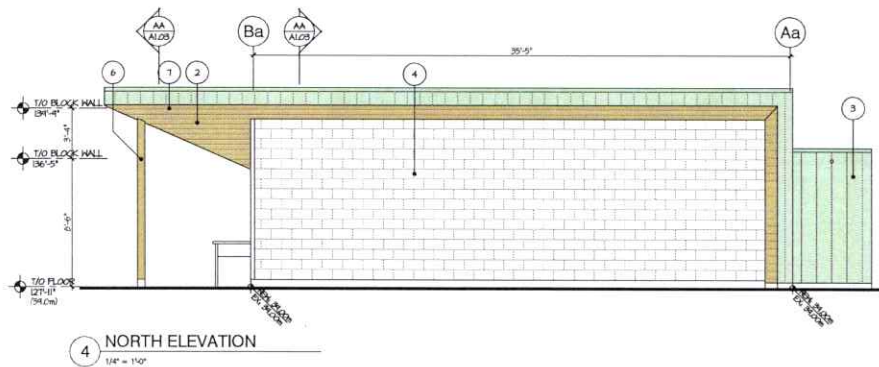
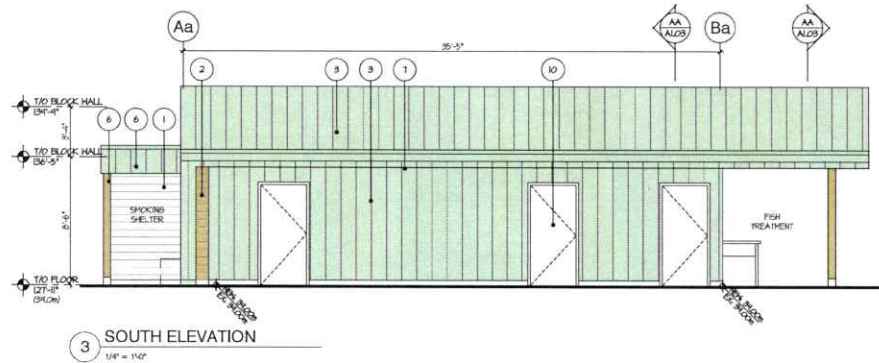
**CITAPPI MAHTTI
(HOUSING) SOCIETY**

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MATERIAL LEGEND	COLOR
1 6" HORIZONTAL CEDAR SHIMLAP SIDING AND SOFFIT	TINTED SEALER
2 STANDING SEAM METAL ROOF AND GROUND	HST GREEN (STANDARD CASCADIA)
3 PAINTED SMOOTH-FACE CONCRETE MASONRY	SH 7777
4 2 PLY SBS ROOFING MEMBRANE	GREY
5 GULAH POSTS	TINTED SEALER
6 PRE-FINISHED METAL FLASHING	HST GREEN (STANDARD CASCADIA)
7 PAINTED PVC RAIN WATER LEADER	SH 2B2 ROUGHWOOD JADE
8 ARCHITECTURAL FINISHED CONCRETE	CLEAR SEALER
9 PAINTED INSULATED STEEL DOORS	SH 2B2 ROUGHWOOD JADE
10 PAINTED BENT METAL GUTTER	SH 2B2 ROUGHWOOD JADE



PROJECT
4210 CEDARWOOD STREET

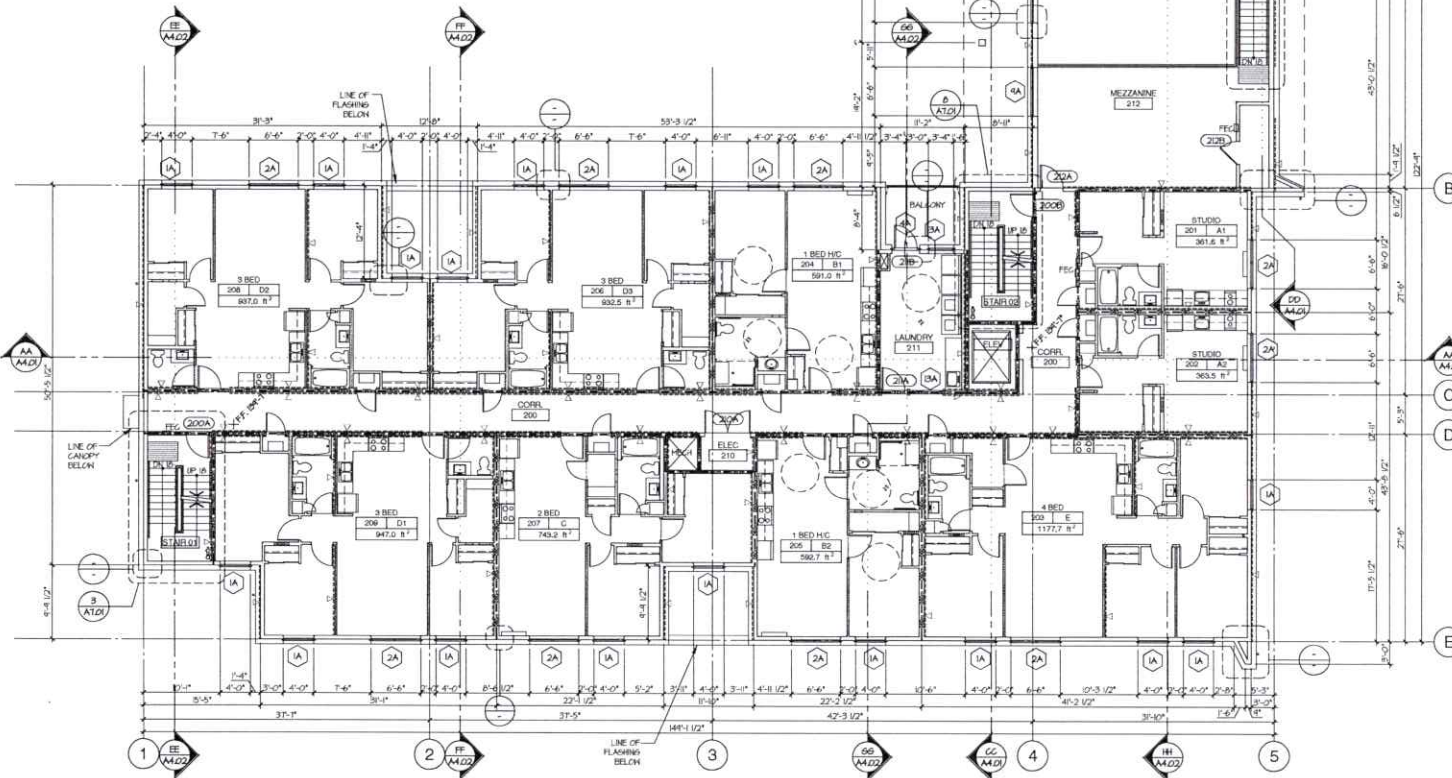
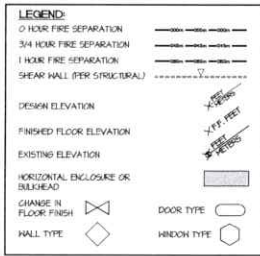
4210 CEDARWOOD STREET
PORT ALBERT, BC

**MAINTENANCE
BUILDING**

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SCALE AS NOTED
DATE 2022-05-10

- GENERAL NOTES:**
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE WALL UNO.
 - ALL INTERIOR STUD WALLS ARE TYPE 1W UNO.
 - LARGER STUD SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFORM SIZES & LOCATION OF STUDS AT EACH FLOOR.
 - PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED & AS DETAILED (SEE RCP/S).
 - PROVIDE SOLID BLOCKING FOR HANGROPS, ACCESSORIES AND MELLORS.
 - COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL DWGS.
 - AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRYWALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO GND, ALWAYS USE THE THICKER GND ON BOTH ASSEMBLIES.
 - USE MOISTURE RESISTANT GND IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SUITE BATHROOMS.
 - GND TO RUN CONTINUOUS BEHIND ALL TUBS/SHOWERS, DULHEADS, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
 - SEE INTERIOR ELEVATION DWGS & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MELLORS DETAILS UNO.
 - WHERE SHEAR WALL SHEATHING IS NOT CONTINUOUS PROVIDE FLOORING TO MATCH.
 - ALL DOORS TO BE LOCATED 3" FROM WALL AT HINGE SIDE UNO.
 - INSTALL 1 LAYER 5/8" TYPE "C" GND BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY WALLS.
 - REFER TO DETAILS 1 & 2 AS/DG FOR SUITE SHOWERS/TUB REQUIREMENTS AND CONTROL LOCATIONS.
 - PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE DRAIN BANS AT TUBS AND TOILETS IN ALL BATHROOMS.
 - ACCESSIBLE UNIT CLOSETS CLOSETS - BOOKS TO BE MOUNTED BETWEEN 4'-0" AND 4'-6" A.F.F.
 - ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 7'-4" AND 4'-0" A.F.F.



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dys architecture
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CLIENT
**CITAABI MAHTHI
(HOUSING) SOCIETY**

- NO. | DATE | ISSUE
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4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

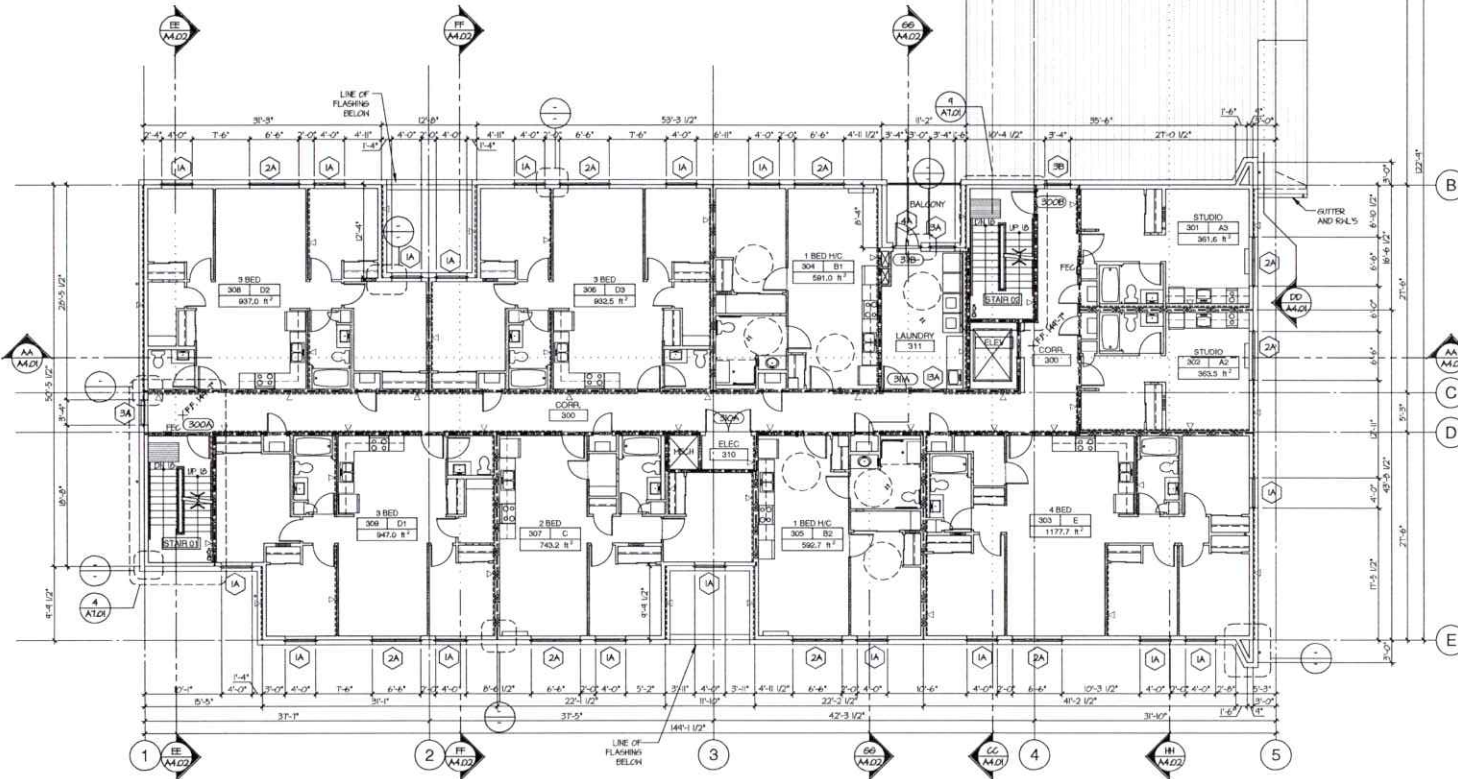
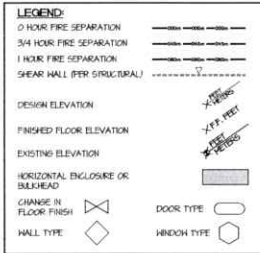
LEVEL 2 FLOOR PLAN

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PROJECT A220484
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DATE 2022-06-10

A2.02

- GENERAL NOTES:**
1. ALL INTERIOR HALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE WALL UNO.
 2. ALL INTERIOR STUD WALLS ARE TYPE "M" UNO.
 3. LARGER STUD SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFORM SIZES & LOCATION OF STUDS AT EACH FLOOR.
 4. PROVIDE GELING DRUMPS AS NEEDED IN BATHROOMS, & WHERE NOTED & AS DETAILED (SEE ROPS).
 5. PROVIDE SOLID BLOCKING FOR WASHROOM ACCESSORIES & MELLKORS.
 6. COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL DWGS.
 7. AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRYWALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO GND, ALWAYS USE THE THICKER GND ON BOTH ASSEMBLIES.
 8. USE MOISTURE RESISTANT GND IN ALL JANITOR ROOMS AND AROUND TUBS SHOWERS IN BATH BATHROOMS.
 9. GND TO RUN CONTIGUOUS BEHIND ALL TUBS SHOWERS, BULKHEADS, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
 10. SEE INTERIOR ELEVATION DWGS & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MELLKORS DETAILS UNO.
 11. WHERE SHEAR HALL SHEATHING IS NOT CONTINUOUS, PROVIDE FURRING TO MATCH.
 12. ALL DOORS TO BE LOCATED 3" FROM HALL AT HINGE SIDE UNO.
 13. INSTALL 1" LAYER 5/8" TYPE "Y" GND BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY HALLS.
 14. REFER TO DETAILS I & J 2/AS-06 FOR SUITE SHOWER/TUB REQUIREMENTS AND CONTROL LOCATIONS.
 15. PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE GRAB BARS AT TUBS AND TOILETS IN ALL WASHROOMS.
 16. ACCESSIBLE UNIT CLOSET CLOSETS - BODYS TO BE MOUNTED BETWEEN 4'-0" AND 4'-8" A.F.F.
 17. ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 4'-4" AND 4'-0" A.F.F.





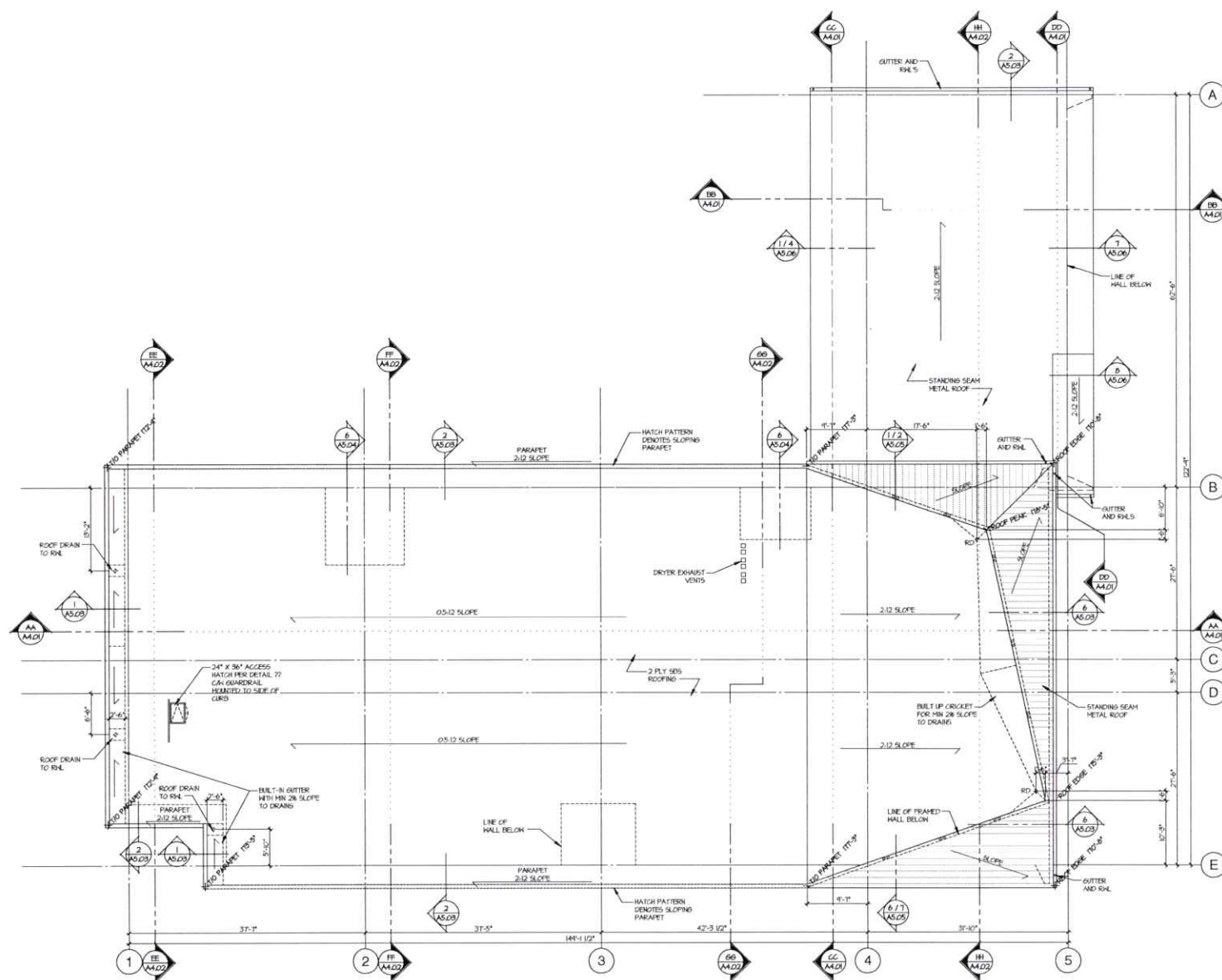
4210 CEDARWOOD STREET
PORT ALBERNI, BC

ROOF PLAN

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PROJECT A220484
DRAWN DI CHECKED DI
SCALE 1/8" = 1'-0"
DATE 2022-06-10

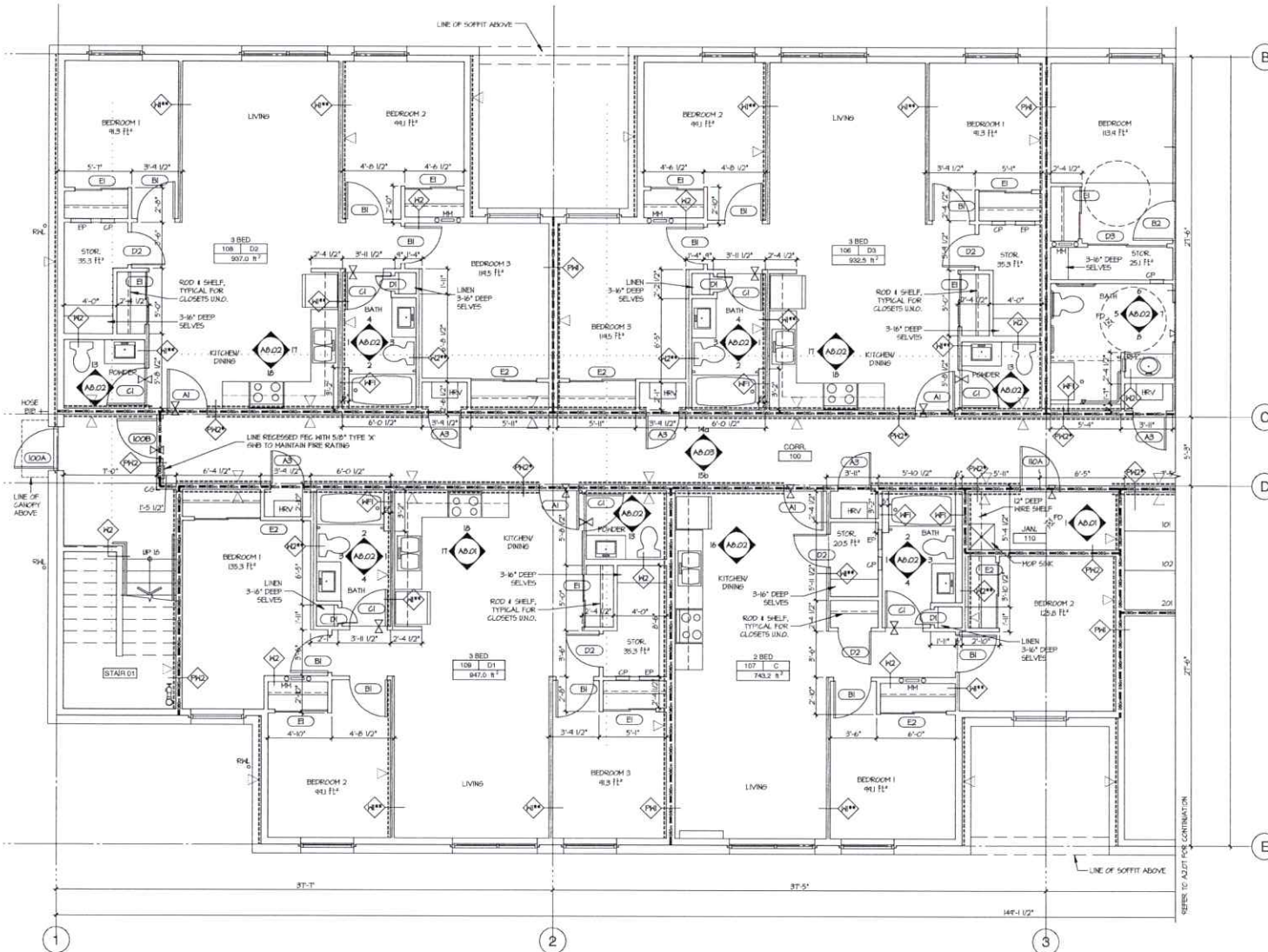
A2.05



CLIENT
**CITAABI MAHTH
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2021-07-13 | RCH SCHEMATIC SUBMITTAL
2 | 2022-04-26 | REDRAWN FOR RE-ZONING
3 | 2022-05-12 | 50% BC HOUSING REVIEW
4 | 2022-06-10 | 70% REVIEW
5 | 2022-11-18 | RCH-USED FOR DP

NO. | DATE | REVISION



LEGEND:	
0 HOUR FIRE SEPARATION	---
3/4 HOUR FIRE SEPARATION	----
1 HOUR FIRE SEPARATION	=====
SHEAR WALL (PER STRUCTURAL)	-----
DESIGN ELEVATION	---
FINISHED FLOOR ELEVATION	---
EXISTING ELEVATION	---
HORIZONTAL ENCLOSURE OR BULFHEAD	---
CHANGE FLOOR FINISH	---
HALL TYPE	---
DOOR TYPE	---
WINDOW TYPE	---

- GENERAL NOTES:**
- ALL INTERIOR HALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE HALL UNO.
 - ALL INTERIOR STUD WALLS ARE TYPE W/ UNO.
 - ALL INTERIOR STUD WALLS ARE TYPE W/ UNO.
 - PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED & AS DETAILED (SEE RCH).
 - PROVIDE SOLID BLOCKING FOR WASHROOM ACCESSORIES AND MILLWORK.
 - COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL DWGS.
 - AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRY-HALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO GMB. ALWAYS USE THE THICKER ONE ON BOTH ASSEMBLIES.
 - USE MOISTURE RESISTANT GMB IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SITE BATHROOMS.
 - GMB TO RUN CONTINUOUS BEHIND ALL TUBS/SHOWERS, BULKHEADS, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
 - SEE INTERIOR ELEVATION DWGS & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MILLWORK DETAILS UNO.
 - WHERE SHEAR WALL SHEATHING IS NOT CONTINUOUS, PROVIDE FURNING TO MATCH.
 - ALL DOORS TO BE LOCATED 3" FROM WALL AT HINGE SIDE UNO.
 - INSTALL 1 LAYER 5/8" TYPE 'X' GMB BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY WALLS.
 - REFER TO DETAILS 1 & 2 ABOVE FOR SUITE SHOWER/TUB REQUIREMENTS AND CONTROL LOCATIONS.
 - PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE GRAB BARS AT TUBS AND TOILETS IN ALL BATHROOMS.
 - ACCESSIBLE UNIT CLOTHES CLOSETS - DOORS TO BE HINGED BETWEEN 4'-0" AND 4'-8" A.F.F.
 - ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - DOORS TO BE HINGED BETWEEN 4'-0" AND 4'-8" A.F.F.

UNIT PLAN LEGEND:	
HM	MECHANICAL HANDHOLD
EP	ELECTRICAL PANEL
CP	COMMUNICATION PANEL
LD	FLOOR HEIGHT WITH SHELVING
RMC	RECESSED MEDICINE CABINET



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

**LEVEL 1 FLOOR PLAN
ENLARGED (SOUTH)**

This drawing is an integral part of the project and is not to be used in any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom.

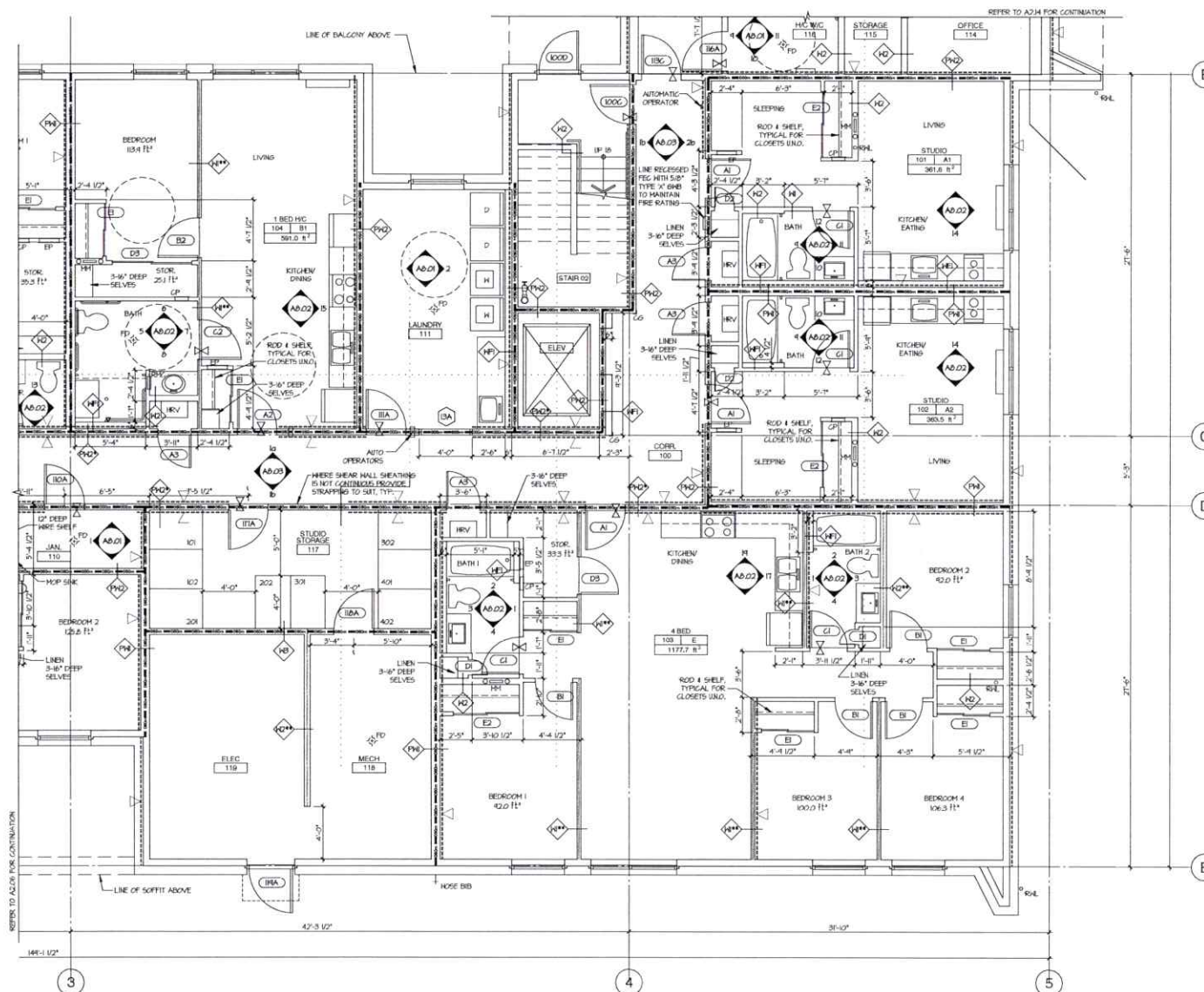
PROJECT A220484
DRAWN: DI CHECKED: DS
SCALE 1/4" = 1'-0"
DATE 2022-06-10

A2.06

CLIENT
**CITAABI MAHTI
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 2021-07-13/10% SCHEMATIC SUBMITTAL
2 2022-04-26/REISSUED FOR RE-ZONING
3 2022-05-12/50% BC HOUSING REVIEW
4 2022-06-10/70% REVIEW
5 2022-11-18/RE-ISSUED FOR DP

NO. | DATE | REVISION



LEGEND:

0 HOUR FIRE SEPARATION	---
3/4 HOUR FIRE SEPARATION	----
1 HOUR FIRE SEPARATION	-----
SHEAR WALL (PER STRUCTURAL)	-----
DESIGN ELEVATION	---
FINISHED FLOOR ELEVATION	---
EXISTING ELEVATION	---
HORIZONTAL ENCLOSURE OR BALCONY	---
CHANGE IN FLOOR FINISH	---
HALL TYPE	---
DOOR TYPE	---
WINDOW TYPE	---

GENERAL NOTES:

- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE WALL UNDO.
- ALL INTERIOR STUD WALLS ARE TYPE "W" UNDO.
- LARGER STUD SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFORM SIZES & LOCATION OF STUDS AT EACH FLOOR.
- PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED AS DETAILED (SEE RCP'S).
- PROVIDE SOLID BLOCKING FOR HANDBOOK ACCESSORIES AND MILLWORK.
- COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL ENGINEER.
- AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRYWALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO ONE, ALWAYS USE THE THICKER GNB ON BOTH ASSEMBLIES.
- USE MOISTURE RESISTANT GNB IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SUITE BATHROOMS, BULKHEADS, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
- SEE INTERIOR ELEVATION DWGS & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MILLWORK DETAILS UNDO.
- WHERE SHEAR WALL SHEATHING IS NOT CONTIGUOUS PROVIDE FINISHING TO MATCH.
- ALL DOORS TO BE LOCATED 3" FROM WALL AT HINGE SIDE UNDO.
- INSTALL 1 LAYER 5/8" TYPE "X" GNB BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY WALLS.
- REFER TO DETAILS 1 & 2 FOR SUITE SHOWER/TUB REQUIREMENTS AND CONTROL LOCATIONS.
- PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE GRAB BARS AT TUBS AND TOILETS IN ALL BATHROOMS.
- ACCESSIBLE UNIT CLOTHES CLOSETS - ROOFS TO BE MOUNTED BETWEEN 4'-0" AND 4'-8" AFF.
- ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 1'-4" AND 4'-0" AFF.

UNIT PLAN LEGEND:

MH	MECHANICAL HANFOLD
DP	ELECTRICAL PANEL
CP	COMMUNICATION PANEL
CO	COORD. HEIGHT WITH SHELVING
RWC	RECESSED MEDICINE CABINET

PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERT, BC

**LEVEL 1 FLOOR PLAN
ENLARGED (NORTH)**

This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the architect's written consent. All design and other information shown on this drawing is the property of the architect and may not be used for any other purpose without the written permission of the architect. Payment of all fees due to the architect, as to the date of use of this drawing is a condition precedent to the use thereof.

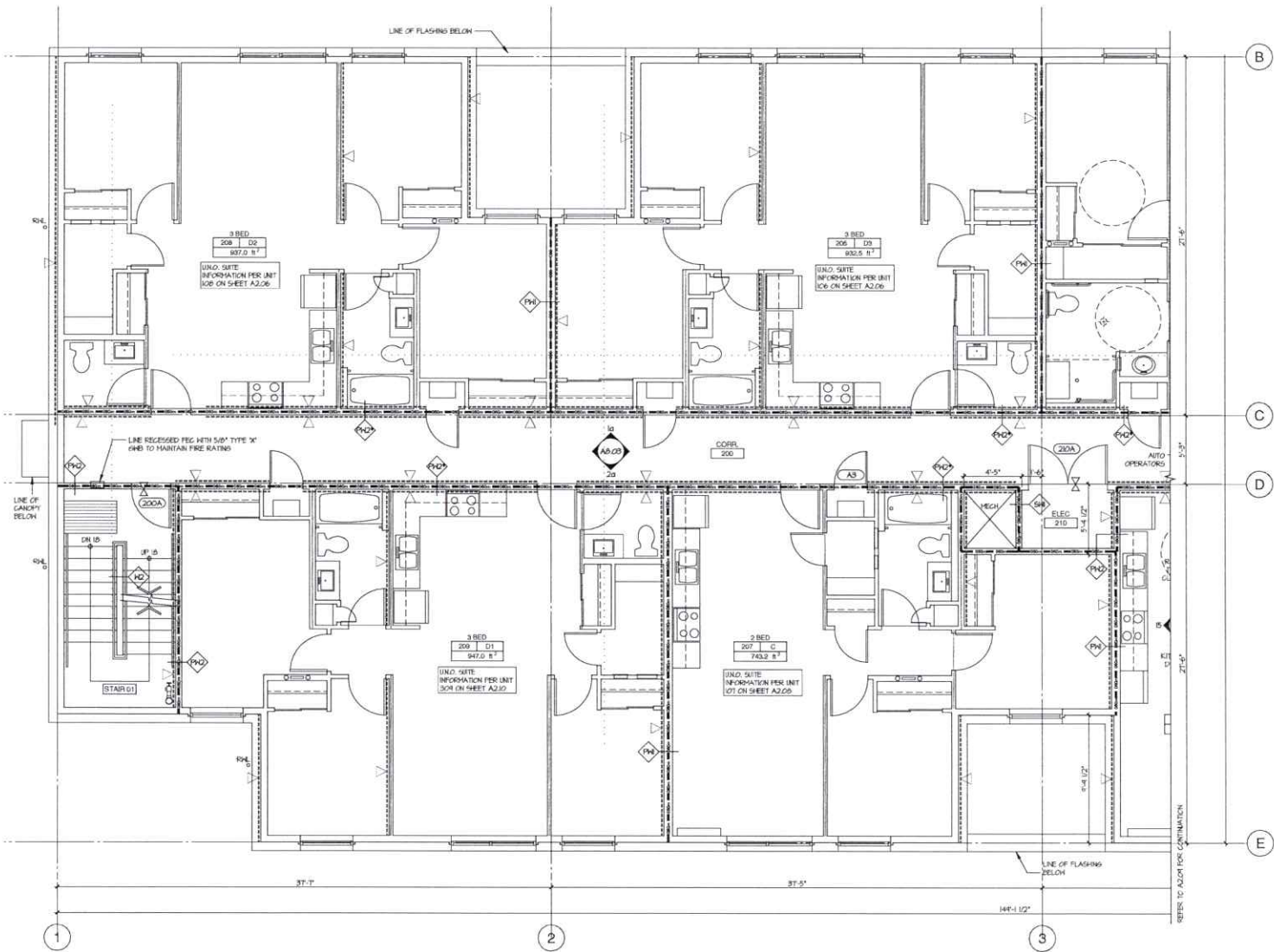
Written dimensions shall have precedence over verbal dimensions. Contradictions shall remain the responsibility of the architect and shall not be a condition of use of this drawing. All dimensions and conditions on the plan and any attachments shall be subject to any variations from the drawings and conditions shown on the drawings. Drawings shall be corrected to the architect for review before proceeding with construction.

PROJECT A220484
DRAWN 01 CHECKED 05
SCALE 1/4" = 1'-0"
DATE 2022-06-10

CLIENT
**CITAAPI MAHTHI
(HOUSING) SOCIETY**

NO.	DATE	ISSUE
1	[2021-07-13]	BCSH SCHEMATIC SUBMITTAL
2	[2022-04-26]	REISSUED FOR RE-ZONING
3	[2022-05-12]	50% BC HOUSING REVIEW
4	[2022-06-10]	70% REVIEW
5	[2022-11-18]	RE-ISSUED FOR DP

NO.	DATE	REVISION
-----	------	----------



LEGEND:

0 HOUR FIRE SEPARATION
3/4 HOUR FIRE SEPARATION
1 HOUR FIRE SEPARATION
SHEAR WALL (PER STRUCTURAL)

DESIGN ELEVATION
FINISHED FLOOR ELEVATION
EXISTING ELEVATION

HORIZONTAL ENCLOSURE OR BULKHEAD
CHANGE IN FLOOR FINISH
HALL TYPE

DOOR TYPE
HIDDEN TYPE

- GENERAL NOTES:**
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE HALL UNO.
 - ALL INTERIOR STUD WALLS ARE TYPE W/ UNO. LARGER STUD SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFORM 5/25 4 LOCATION OF STUDS AT EACH FLOOR.
 - PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED 4 AS DETAILED (SEE RUPS).
 - PROVIDE SOLID BLOCKING FOR WASHROOM ACCESSORIES AND MILLWORK.
 - COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL DWGS.
 - AT FLASH HEAD TO HEAD JOINTS BETWEEN TWO DR/HALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO SHW, ALWAYS USE THE THICKER GNB ON BOTH ASSEMBLIES.
 - USE MORTISE RESISTANT GNB IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SUITE BATHROOMS. GNB TO RUN CONTINUOUS BEHIND ALL TUBS/SHOWERS, BLUEHEADS, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
 - SEE INTERIOR ELEVATION DWGS 4 SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS 4 MILLWORK DETAILS UNO.
 - WHERE SHEAR WALL SHEATHING IS NOT CONTINUOUS PROVIDE FURRING TO MATCH.
 - ALL DOORS TO BE LOCATED 3" FROM HALL AT HIDE SIDE UNO.
 - INSTALL 1 LAYER 5/8" TYPE 'X' GNB BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY WALLS.
 - REFER TO DETAILS 1 1 2 2 2 2 2 2 FOR SUITE SHOWER/TUB REQUIREMENTS AND CONTROL LOCATIONS.
 - PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE GRAB BARS AT TUBS AND TOILETS IN ALL BATHROOMS.
 - ACCESSIBLE UNIT CLOTHES CLOSETS - DOORS TO BE MOUNTED BETWEEN 4'-0" AND 4'-6" AFF.
 - ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 1'-4" AND 4'-0" AFF.

UNIT PLAN LEGEND:

HM MECHANICAL HANDFOLD
EP ELECTRICAL PANEL
CP COMMUNICATION PANEL
GND GOOD HEIGHT WITH SHELVING
RMC RECESSED MEDICINE CABINET



PROJECT
4210 CEDARWOOD STREET

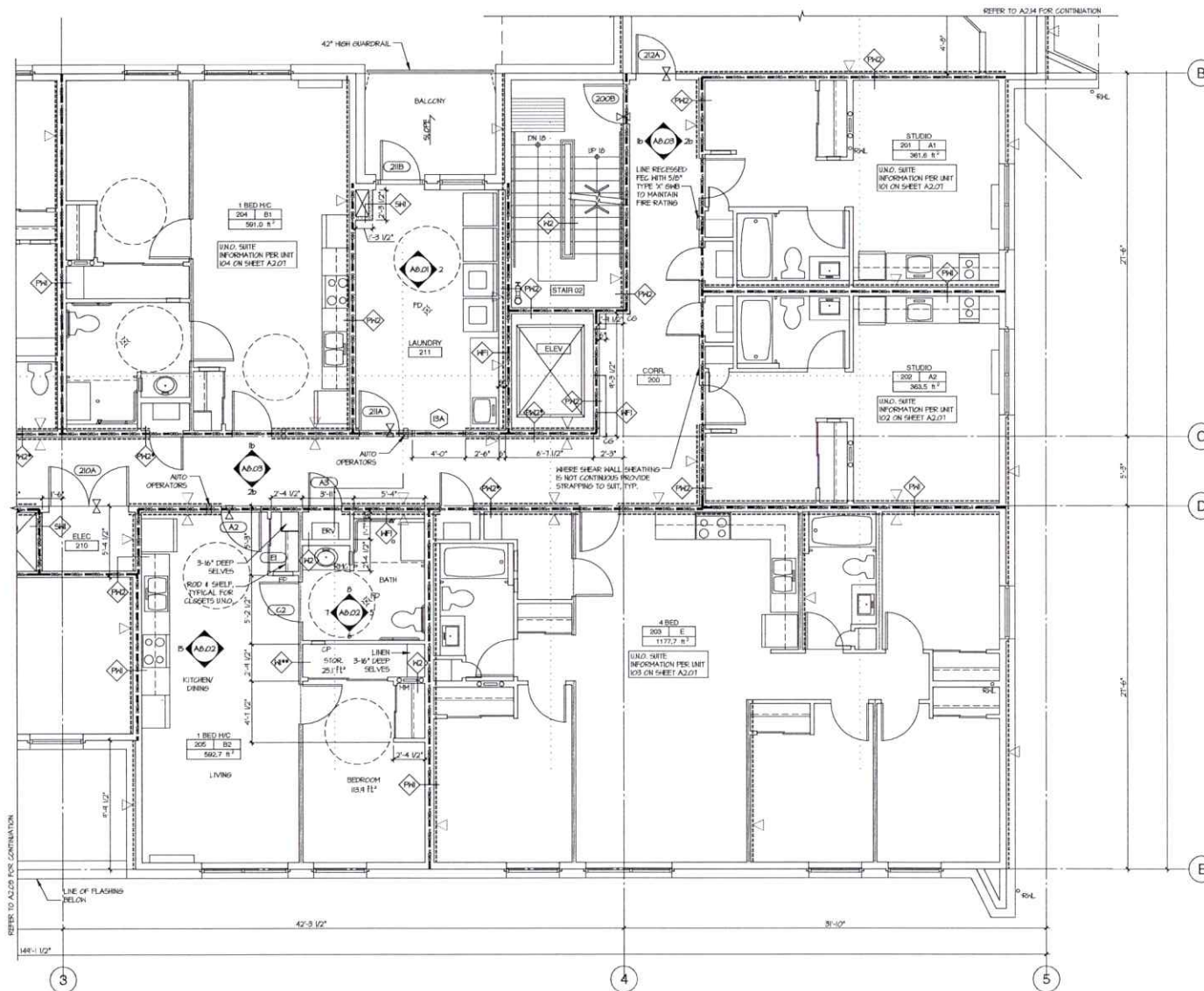
4210 CEDARWOOD STREET
PORT ALBERNI, BC

**LEVEL 2 FLOOR PLAN
ENLARGED (SOUTH)**

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PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-08-10

A2.08



LEGEND:

0 HOUR FIRE SEPARATION —————

3/4 HOUR FIRE SEPARATION - - - - -

1 HOUR FIRE SEPARATION (dash-dot-dot)

5 YEAR WALL PER STRUCTURAL - - - - -

DESIGN ELEVATION

FINISHED FLOOR ELEVATION

EXISTING ELEVATION

HORIZONTAL ENCLOSURE OR
ELEVATOR 6 (2002-11-18) [RE-ISSUED FOR DP]

CHANGE IN
DOOR FINISH

HALL TYPE

DOOR TYPE

HIDDEN TYPE

[illegible]

UNIT PLAN LEGEND:
MM MECHANICAL MANIFOLD
EP ELECTRICAL PANEL
CP COMMUNICATION PANEL
COORD. HEIGHT WITH SHELVING
RMC RECESSED MEDICINE CABINET



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

LEVEL 2 FLOOR PLAN
ENLARGED (NORTH)

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Neither dimensions shall have precedence over scalar dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **dyx architecture** shall be indemnified of any re/ failures from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **dyx architecture** for review before processing with fabrication.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

A2.09

CLIENT
**CITITAPI MAHTII
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2021-07-13 | SCHEMATIC SUBMITTAL
2 | 2022-04-26 | REISSUED FOR RE-ZONING
3 | 2022-05-12 | 50% BC HOUSING REVIEW
4 | 2022-06-10 | 70% REVIEW
5 | 2022-11-18 | RE-ASSUED FOR DP

NO. | DATE | REVISION

LEGEND	
0 HOUR FIRE SEPARATION	---
3/4 HOUR FIRE SEPARATION	---
1 HOUR FIRE SEPARATION	---
SHEAR WALL (PER STRUCTURAL)	---
DESIGN ELEVATION	---
FINISHED FLOOR ELEVATION	---
EXISTING ELEVATION	---
HORIZONTAL ENCLOSURE OR BALCONY	---
CHANGE IN FLOOR FINISH	---
HALL TYPE	---
DOOR TYPE	---
WIDEN TYPE	---

- GENERAL NOTES:**
- ALL INTERIOR HALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE WALL UNO.
 - ALL INTERIOR STUD HALLS ARE TYPE 1H UNO.
 - LANDSCAPE SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFORM SIZES & LOCATION OF STUDS AT EACH FLOOR.
 - PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED & AS DETAILED (SEE SCPS).
 - PROVIDE SOLID BLOCKING FOR HALLWAY ACCESSORIES AND HALLWAYS.
 - COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ ORIGINAL CHNG.
 - AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRYWALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO GNL. ALWAYS USE THE THICKER GNB ON BOTH ASSEMBLIES.
 - USE MOISTURE RESISTANT GNB IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SUITE BATHROOMS.
 - GNB TO RUN CONTINUOUS BEHIND ALL TUBS/SHOWERS, BALCONIES, CABINETS, ETC. AT FULL HALL HEIGHT, TYPICAL.
 - SEE INTERIOR ELEVATION 0165 & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MILLWORK DETAILS UNO.
 - WHERE SHEAR WALL SHEATHING IS NOT CONTINUOUS PROVIDE FINISHING TO MATCH.
 - ALL DOORS TO BE LOCATED 3" FROM WALL AT HINGE SIDE UNO.
 - INSTALL 1 LAYER 5/8" TYPE "X" GNB BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY HALLS.
 - REFER TO DETAILS 1 & 2 AS/AS FOR SUITE SHOWERS/TUB REQUIREMENTS AND CONTROL LOCATIONS.
 - PROVIDE 2" X 12" SOLID BLOCKING FOR FUTURE OKAB BARS AT TUBS AND TOILETS IN ALL WARDROOMS.
 - ACCESSIBLE UNIT CLOSET CLOSETS - RODS TO BE MOUNTED BETWEEN 4'-0" AND 4'-6" A.F.F.
 - ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 1'-4" AND 4'-0" A.F.F.

UNIT PLAN LEGEND:	
ME	MECHANICAL MANIFOLD
EP	ELECTRICAL PANEL
CP	COMMUNICATION PANEL
CO	COOKED HEIGHT WITH SHELVING
RHC	RECESSED MEDICINE CABINET



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERN, BC

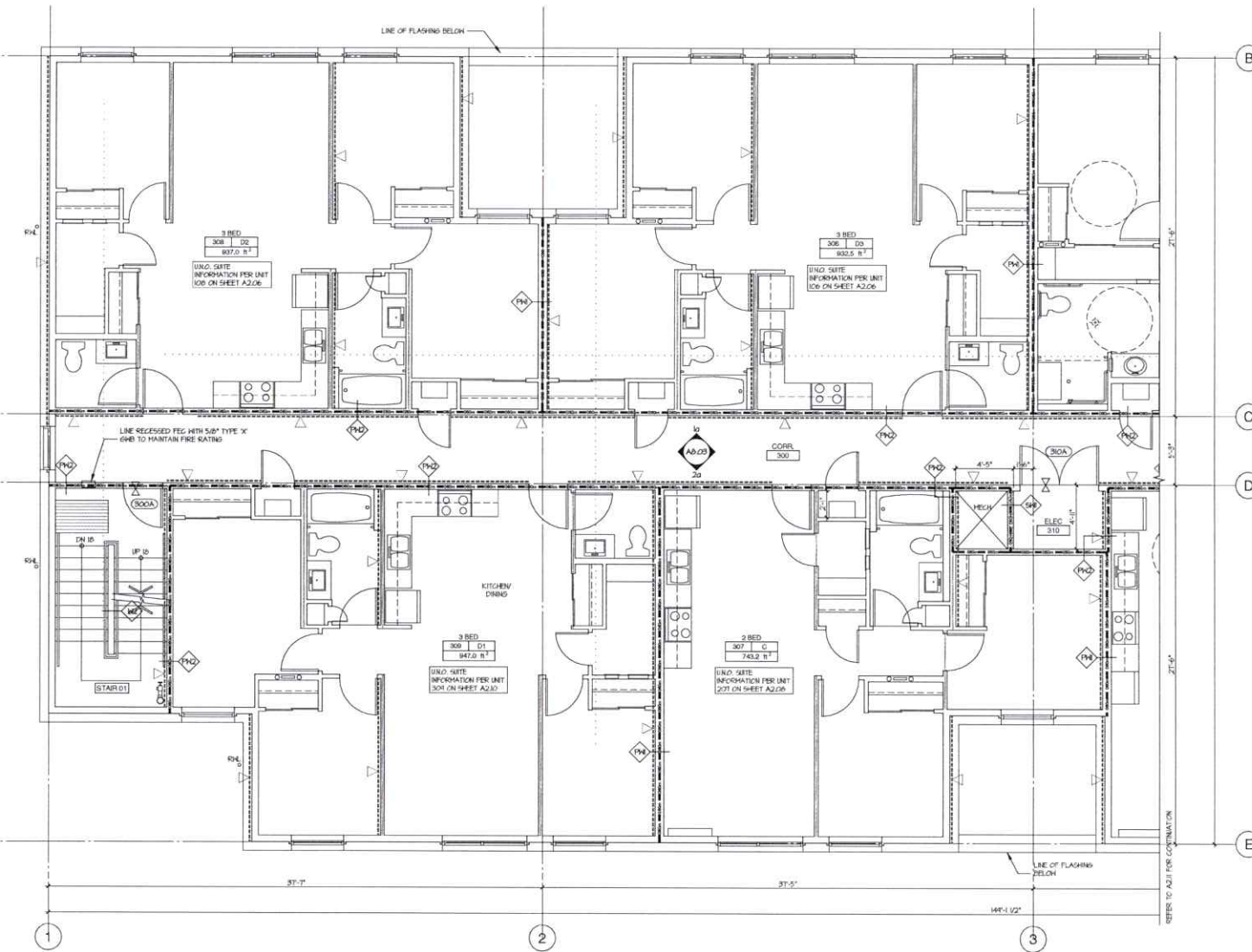
**LEVEL 3 FLOOR PLAN
ENLARGED (SOUTH)**

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Project drawings shall have priorities over scaled measurements. Contractors shall verify and be responsible for all dimensions and locations on the job and any modification shall be approved in writing. All dimensions shall be confirmed on the drawings. Shop drawings shall be submitted to dys architecture for review before proceeding with fabrication.

PROJECT A220484
DRAWN D1 CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

A2.10





PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

**LEVEL 3 FLOOR PLAN
ENLARGED (NORTH)**

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Within dimensions shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **3ds** architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **3ds** architecture for review before proceeding with

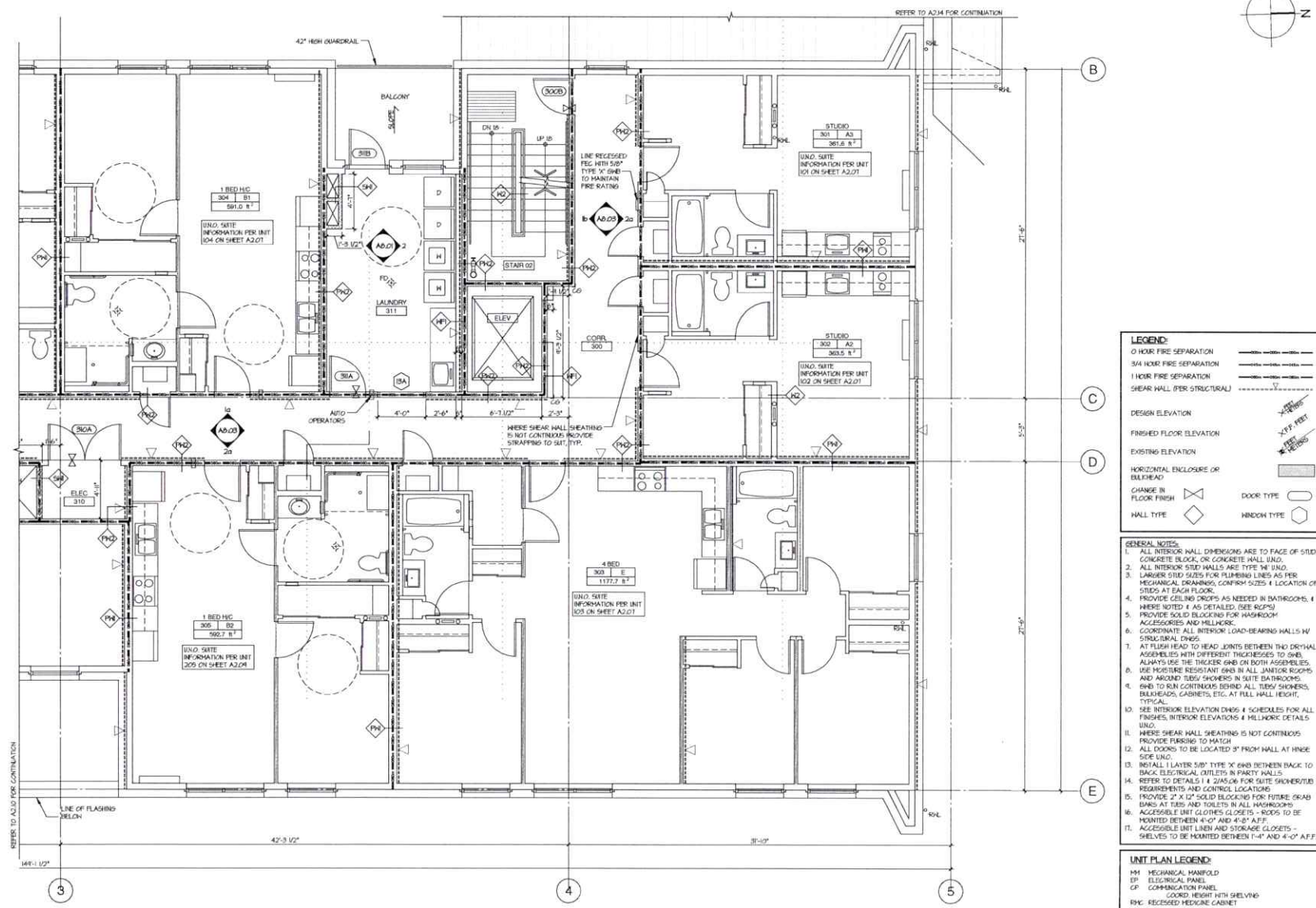
PROJECT A220484

DRAWN DI CHECKED DS

SCALE 1/8" = 1'-0"

DATE 2022-06-10

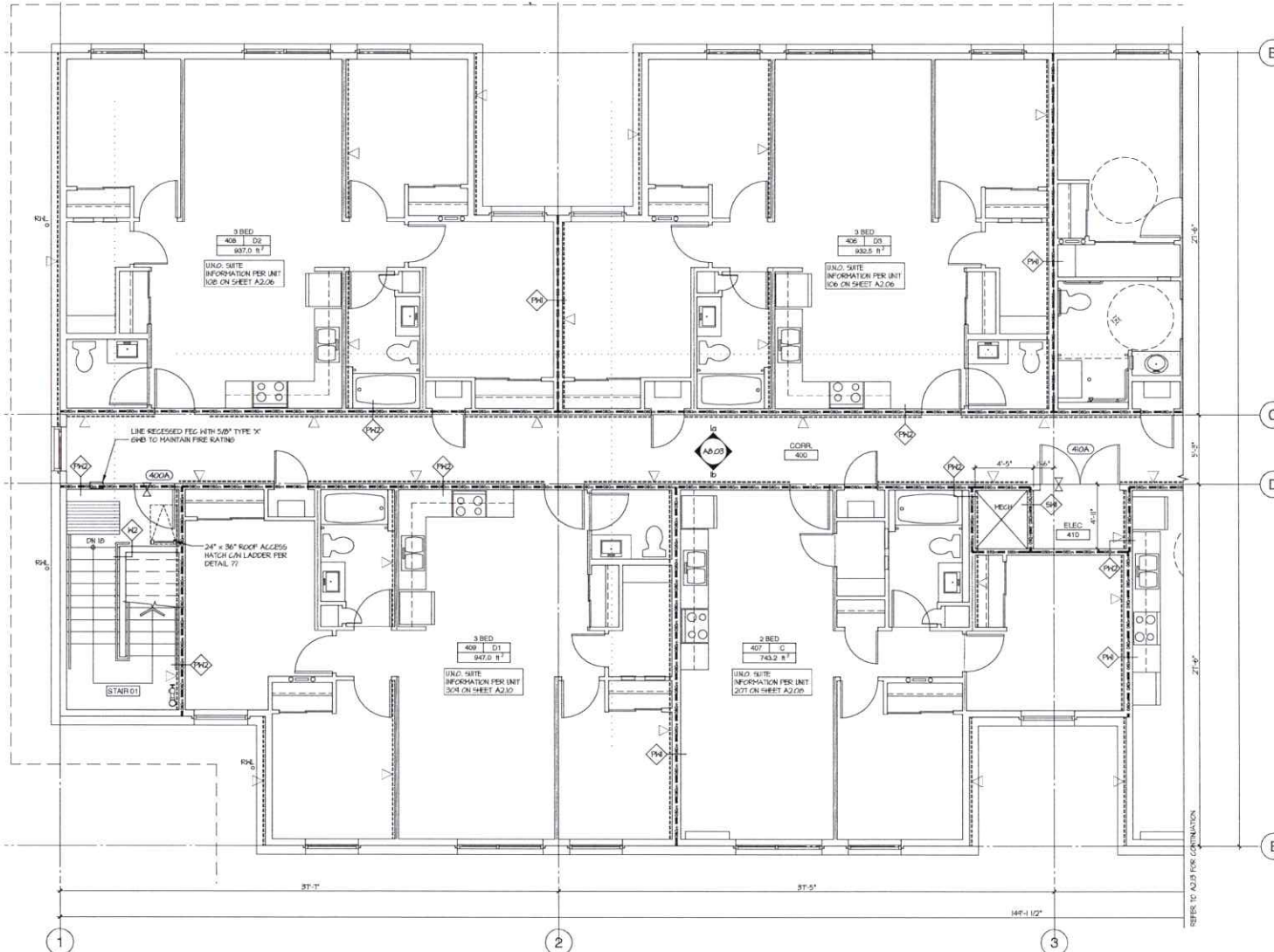
A2.11



CLIENT
**CITAAPI MAHTHI
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2021-07-13 | 80% SCHEMATIC SUBMITTAL
2 | 2022-04-26 | REISSUED FOR RE-ZONING
3 | 2022-05-12 | 50% BC HOUSING REVIEW
4 | 2022-06-10 | 70% REVIEW
5 | 2022-11-16 | RE-ISSUED FOR DP

NO. | DATE | REVISION



LEGEND:	
0 HOUR FIRE SEPARATION	---
3/4 HOUR FIRE SEPARATION	---
1 HOUR FIRE SEPARATION	---
SHEAR WALL (PER STRUCTURAL)	---
DESIGN ELEVATION	---
FINISHED FLOOR ELEVATION	---
EXISTING ELEVATION	---
HORIZONTAL ENCLOSURE OR BULKHEAD	---
CHANGE IN FLOOR FINISH	---
HALL TYPE	---
DOOR TYPE	---
WINDOW TYPE	---

- GENERAL NOTES:**
- ALL INTERIOR HALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE BLOCK, OR CONCRETE WALL UNO.
 - ALL INTERIOR STUD HALLS ARE TYPE 'N' UNO.
 - LARGER STUD SIZES FOR PLUMBING LINES AS PER MECHANICAL DRAWINGS, CONFIRM SIZES & LOCATION OF STUDS AT EACH FLOOR.
 - PROVIDE CEILING DROPS AS NEEDED IN BATHROOMS, & WHERE NOTED & AS DETAIL (SEE 602P).
 - PROVIDE SOLID BLOCKING FOR BATHROOM ACCESSORIES AND MILLWORK.
 - COORDINATE ALL INTERIOR LOAD-BEARING WALLS W/ STRUCTURAL PANS.
 - AT FLUSH HEAD TO HEAD JOINTS BETWEEN TWO DRY-HALL ASSEMBLIES WITH DIFFERENT THICKNESSES TO GWS. ALWAYS USE THE THICKER GWS ON BOTH ASSEMBLIES.
 - USE MOISTURE RESISTANT GWS IN ALL JANITOR ROOMS AND AROUND TUBS/SHOWERS IN SUITE BATHROOMS.
 - GWS TO RUN CONTINUOUS BEHIND ALL TUBS/SHOWERS, BULKHEADS, CABINETS, ETC. AT FULL WALL HEIGHT, TYPICAL.
 - SEE INTERIOR ELEVATION DWGS & SCHEDULES FOR ALL FINISHES, INTERIOR ELEVATIONS & MILLWORK DETAILS UNO.
 - WHERE SHEAR WALL SHEATHING IS NOT CONTINUOUS PROVIDE FURRING TO MATCH.
 - ALL DOORS TO BE LOCATED 3" FROM HALL AT HINGE SIDE UNO.
 - INSTALL 1 LAYER 5/8" TYPE 'X' GWS BETWEEN BACK TO BACK ELECTRICAL OUTLETS IN PARTY WALLS.
 - REFER TO DETAILS 1 & 2A-ON FOR SUITE SCHEDULING REQUIREMENTS AND CONTROL LOCATIONS.
 - PROVIDE 2" X 12" SOLID BLOCKING FOR FINITE GRAB BARS AT TUBS AND TOILETS IN ALL BATHROOMS.
 - ACCESSIBLE UNIT CLOTHES CLOSETS - RODS TO BE MOUNTED BETWEEN 4'-0" AND 4'-8" A.F.F.
 - ACCESSIBLE UNIT LINEN AND STORAGE CLOSETS - SHELVES TO BE MOUNTED BETWEEN 1'-4" AND 4'-0" A.F.F.

UNIT PLAN LEGEND:	
MM	MECHANICAL MAINFOLD
EP	ELECTRICAL PANEL
CS	CEILING HEIGHT WITH SHELVING
RMC	RECESSED MEDICINE CABINET



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERT, BC

**LEVEL 4 FLOOR PLAN
ENLARGED (SOUTH)**

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Vertical dimensions shall have precedence over plan dimensions. Conditions shall prevail over the plan and the architect shall be relieved of any liability for any dimensions and quantities shown on the drawings. Shop drawings shall be submitted to dys architecture for review before proceeding with fabrication.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

CITAAPI MAHTII
(HOUSING) SOCIETY

NO.	DATE	ISSUE
1	2021-07-13	BCH SCHEMATIC SUBMITTAL
2	2022-04-26	REISSUED FOR RE-ZONING
3	2022-05-12	50% BC HOUSING REVIEW
4	2022-06-10	70% REVIEW
5	2022-11-18	RE-ISSUED FOR DP

NO. | DATE | REVISION



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

**LEVEL 4 FLOOR PLAN
ENLARGED (NORTH)**

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Written dimensions shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on site. **dxs architecture** shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **dxs architecture** for review before proceeding with

PROJECT A220484
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SCALE 1/8" = 1'-0"
DATE 2022-06-10

PLOT STAMP: 2022-Nov-18 @11:00am - P:\A220484 - AHOUAHT - 4210 Cedarwood St\CAD\A220484_fp04.dwg - A2.13

A2.13

CLIENT
**CITAAPI MAHTTI
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2021-07-13 | BCI SCHEMATIC SUBMITTAL
2 | 2022-04-26 | REISSUED FOR RE-ZONING
3 | 2022-05-12 | BC HOUSING REVIEW
4 | 2022-06-10 | 70% REVIEW
5 | 2022-11-18 | RE-ISSUED FOR DP

NO. | DATE | REVISION

PROJECT
4210 CEDARWOOD STREET

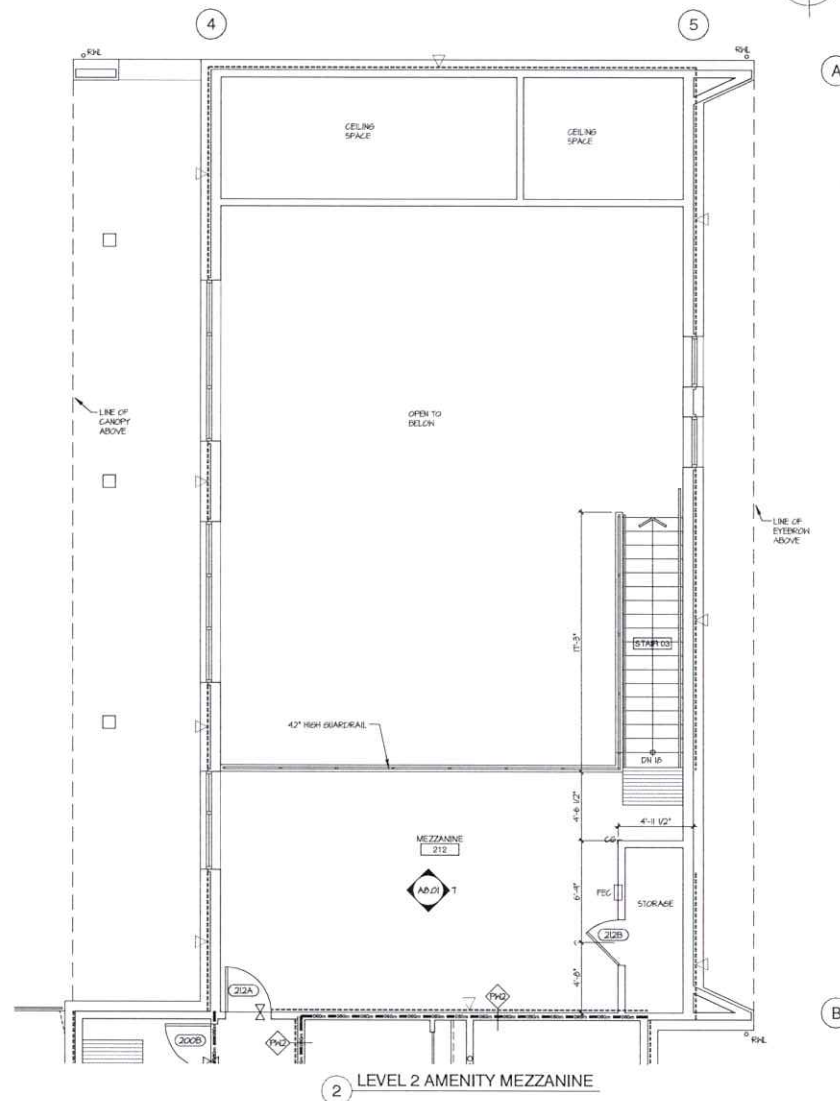
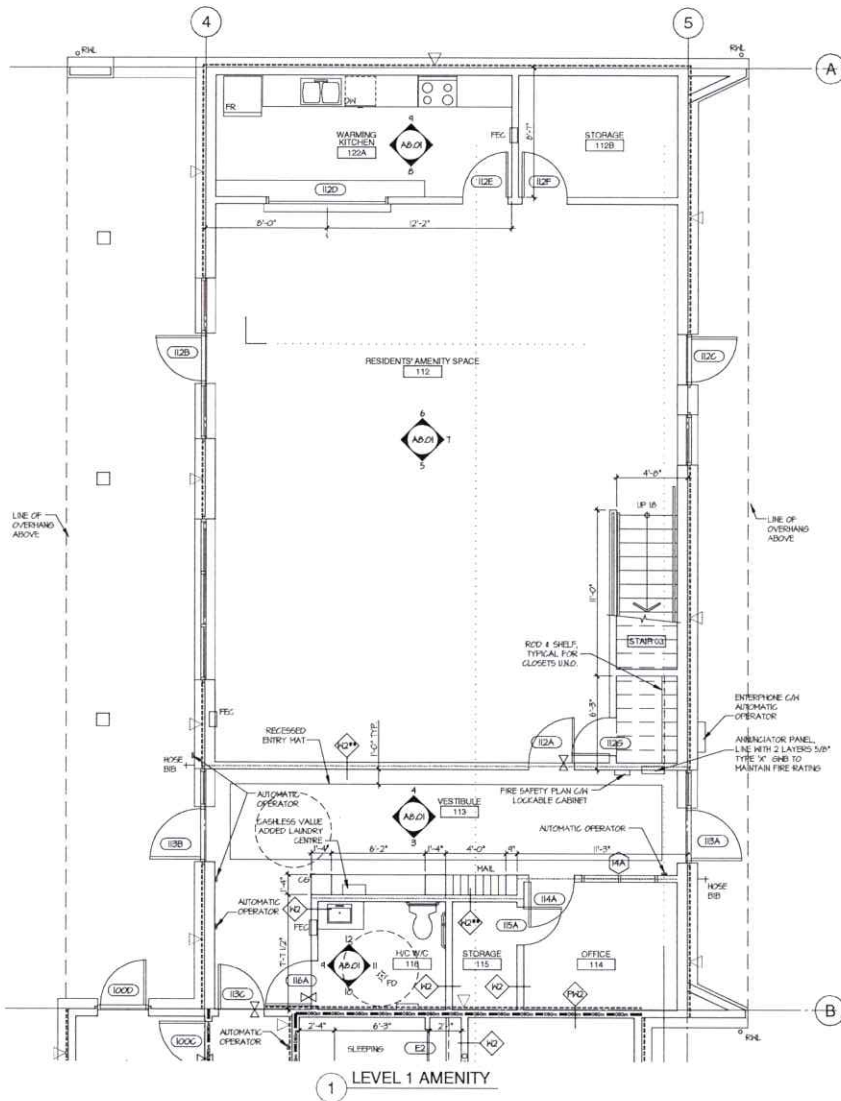
4210 CEDARWOOD STREET
PORT ALBERNI, BC

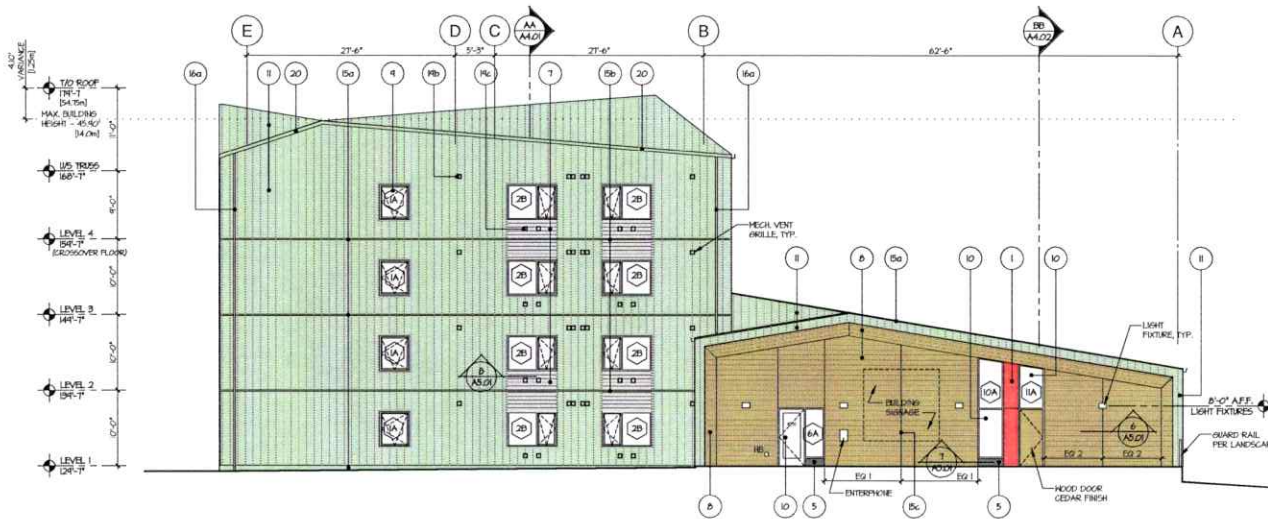
**RESIDENTS'
AMENITY SPACE**

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PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/4" = 1'-0"
DATE 2022-06-10

A2.14





1 NORTH ELEVATION



2 EAST ELEVATION

MATERIAL LEGEND	COLOR
1 FIBRE CEMENT PANEL SMOOTH FINISH (PAINTED)	SH 7000 SHOWN STOPPER
2 FIBRE CEMENT PANEL SMOOTH FINISH (PAINTED)	SH 6400 DAISSY
3 FIBRE CEMENT PANEL SMOOTH FINISH (PAINTED)	SH 6714 GRECO
4 FIBRE CEMENT PANEL SMOOTH FINISH (PAINTED)	SH 6404 BLUE GRIP
5 FIBRE CEMENT PANEL SMOOTH FINISH (STAINLESS COLLECTION)	IRON GRAY
6 6" HORIZONTAL FIBRE CEMENT LAP SIDING WOOD GRAIN FINISH (STAINLESS COLLECTION)	AGED PEXTER
7 6" HORIZONTAL FIBRE CEMENT LAP SIDING WOOD GRAIN FINISH (RUSTIC SERIES)	COASTAL GRAY
8 6" HORIZONTAL CEDAR SHIP LAP SIDING AND SOFFIT	TINTED SEALER
9 DOUBLE GLAZED VINYL WINDOWS AND DOORS CAN CLEAR GLASS	WHITE BLACK
10 DOUBLE GLAZED CURTAIN WALL ASSEMBLY CAN CLEAR GLASS	WHITE BLACK
11 STANDING SEAM METAL ROOF AND SIDING (CANADIAN STANDARD COLOURS)	PST GREEN
12 2 PLY SBS ROOFING MEMBRANE	GREY
13 GULAH POSTS	TINTED SEALER
14 PRE-FINISHED ALUMINUM PICKET GUARDRAIL	WHITE BLACK
15 PRE-FINISHED METAL FLASHING (S5 - AT METAL SIDING & ROOFING S6 - AT COASTAL GRAY SIDING S7 - AT CEDAR SIDING S8 - ALL OTHER LOCATIONS)	(CANADIAN STANDARD COLOURS) PST GREEN CHARCOAL BLACK REGENT GRAY
16 PAINTED PVC RAIN WATER LEADER (S9 - AT PST GREEN SIDING S10 - ALL OTHER LOCATIONS)	SH 2802 ROCKWOOD JADE SH 7673 PEXTER CAST
17 ARCHITECTURAL FINISHED CONCRETE	CLEAR SEALER
18 PAINTED INSULATED STEEL DOOR (S11 - AT SOUTH EXIT S12 - ALL OTHER STEEL DOORS)	(ALL FINISHES SH 6056 TROCKY BLACK) SH 7608 SHOWN STOPPER (BOTH SIDES) SH 7673 PEXTER CAST (BOTH SIDES)
19 MECHANICAL EXHAUST VENTS (S13 - AT CEDAR SIDING S14 - AT PST GREEN SIDING S15 - ALL OTHER LOCATIONS)	(BROOKLYN STANDARD COLOURS UNO) 23 - TAPE SH 2802 ROCKWOOD JADE (PAINTED) 26 - DARK GREY
20 PAINTED BENT METAL GUTTER	SH 2802 ROCKWOOD JADE

ALL EXTERIOR BUILDING ENVELOPE PENETRATIONS (MECHANICAL WALLS, PIPES, ELECTRICAL, WINDS, ETC.) TO BE COORDINATED WITH GENERAL CONTRACTOR TO ENSURE FULLY SEALED CONTINUOUS AIR BARRIER IS MAINTAINED, TYPICAL.

dys architecture
260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604 668 7710 www.dysarchitecture.com

CLIENT
**CITAAPI MAHTHI
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 2022-11-18 ISSUED FOR RE-ZONING
2 2022-04-26 REISSUED FOR RE-ZONING
3 2022-05-12 15% BC HOUSING REVIEW
4 2022-06-10 70% REVIEW
5 2022-11-18 RE-ASSUED FOR DP

NO. | DATE | REVISION

PROJECT
4210 CEDARWOOD STREET

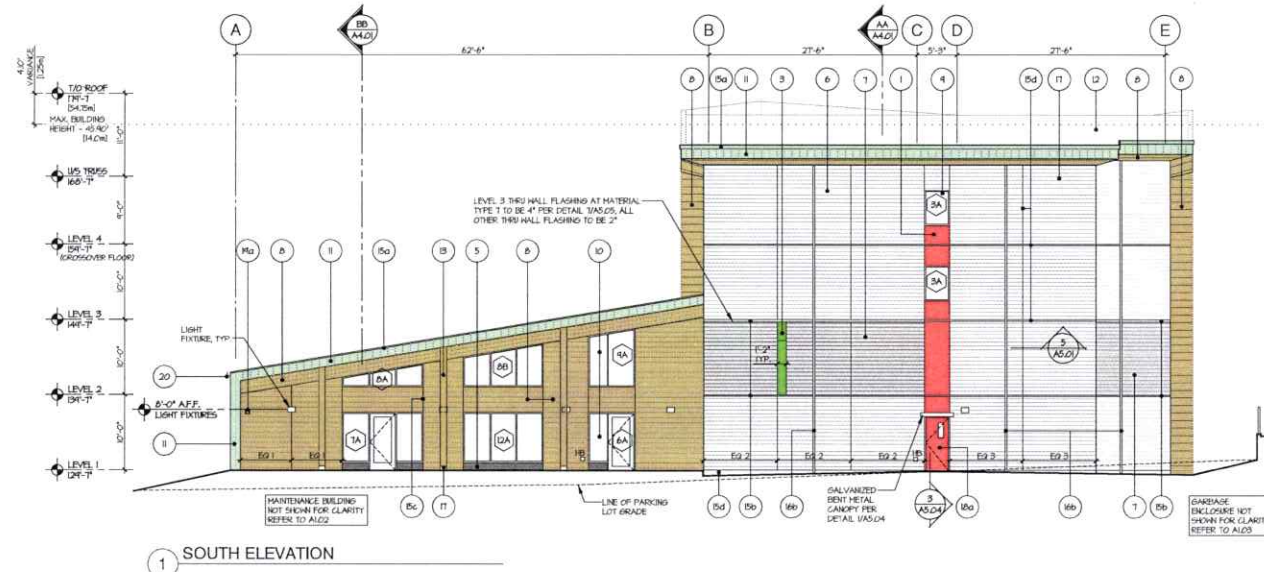
4210 CEDARWOOD STREET
PORT ALBERNI, BC

ELEVATIONS

This drawing is an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect. All design and other information shown on this drawing is for the use of the architect and is not to be used for any other purpose. The architect assumes no responsibility for the construction and performance of the work shown on this drawing. The architect shall be notified in writing of any changes to the work shown on this drawing. The architect shall be notified in writing of any changes to the work shown on this drawing.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-05-10

A3.01



1 SOUTH ELEVATION



2 WEST ELEVATION

MATERIAL LEGEND		COLOR	
1	FIBRE CEMENT PANEL SIDING SMOOTH FINISH (PAINTED)	SH 7500 SMOKE STOPPER	
2	FIBRE CEMENT PANEL SIDING SMOOTH FINISH (PAINTED)	SH 6400 DASH	
3	FIBRE CEMENT PANEL SIDING SMOOTH FINISH (PAINTED)	SH 61TH BECKED	
4	FIBRE CEMENT PANEL SIDING SMOOTH FINISH (PAINTED)	SH 605A BLUE GRIP	
5	FIBRE CEMENT PANEL SIDING SMOOTH FINISH (STATEMENT COLLECTION)	BROWN GRAY	
6	6" HORIZONTAL FIBRE CEMENT LAP SIDING WOOD GRAIN FINISH (STATEMENT COLLECTION)	AGED PEXTER	
7	6" HORIZONTAL FIBRE CEMENT LAP SIDING WOOD GRAIN FINISH (RUSTIC SERIES)	COASTAL GRAY	
8	6" HORIZONTAL CEDAR SHIP LAP SIDING AND SOFFIT	TINTED SEALER	
9	DOUBLE GLAZED VINYL WINDOWS AND DOORS (CL. CLEAR GLASS)	MATTE BLACK	
10	DOUBLE GLAZED CURTAIN WALL ASSEMBLY (CL. CLEAR GLASS)	MATTE BLACK	
11	STANDING SEAM METAL ROOF AND SIDING (CASCADIA STANDARD COLOURS)	MIST GREEN	
12	2 PLY SBS ROOFING MEMBRANE	GREY	
13	GULUM POSTS	TINTED SEALER	
14	PRE-FINISHED ALUMINUM PICKET GUARDRAIL	MATTE BLACK	
15A	PRE-FINISHED METAL FLASHING SH - AT METAL SIDING & ROOFING SH - AT COASTAL GRAY SIDING SH - AT CEDAR SIDING SH - ALL OTHER LOCATIONS	(CASCADIA STANDARD COLOURS) MIST GREEN CHARCOAL BLACK RESENT GRAY	
16	PAINTED PVC RAIN WATER LEADER SH - AT MOST GREEN SIDING SH - ALL OTHER LOCATIONS	SH 2012 ROCKWOOD JADE SH 7613 FORTRESS CAST	
17	ARCHITECTURAL FINISHED CONCRETE	CLEAR SEALER	
18	PAINTED INSULATED STEEL DOOR SH - AT SOUTH EXIT SH - ALL OTHER STEEL DOORS	(ALL FRAMES SH 6250 TRI-GON BLACK) SH 7500 SMOKE STOPPER (BOTH SIDES) SH 7613 FORTRESS CAST (BOTH SIDES)	
19	MECHANICAL EXHAUST VENTS SH - AT CEDAR SIDING SH - AT MOST GREEN SIDING SH - ALL OTHER LOCATIONS	(FINISH STANDARD COLOURS UNQ.) 23 - FAIRF SH 2012 ROCKWOOD JADE (PAINTED) 2B - DARK GREY	
20	PAINTED BENT METAL GUTTER	SH 2012 ROCKWOOD JADE	

ALL EXTERIOR BUILDING ENVELOPE PENETRATIONS (MECHANICAL, DRILLERS, PIPES, ELECTRICAL, HIRS, ETC.) TO BE COORDINATED WITH GENERAL CONTRACTOR TO ENSURE FULLY SEALED. CONTINUOUS AIR BARRIER IS MAINTAINED. TYPICAL.

dys architecture
280 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604 689 7710 www.dysarchitecture.com

CLIENT
CITAPI MAHTHI (HOUSING) SOCIETY

NO. | DATE | ISSUE
1 2020-11-18 ISSUED FOR RE-ZONING
2 2022-04-06 (RE)ISSUED FOR RE-ZONING
3 2022-05-12 15% BC HOUSING REVIEW
4 2022-06-10 10% REVIEW
5 2022-11-18 (RE)ISSUED FOR DP

NO. | DATE | REVISION



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

ELEVATIONS

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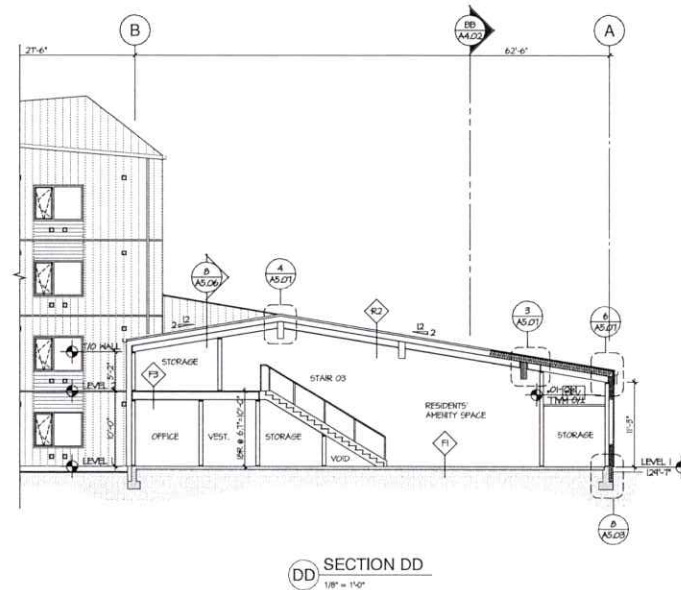
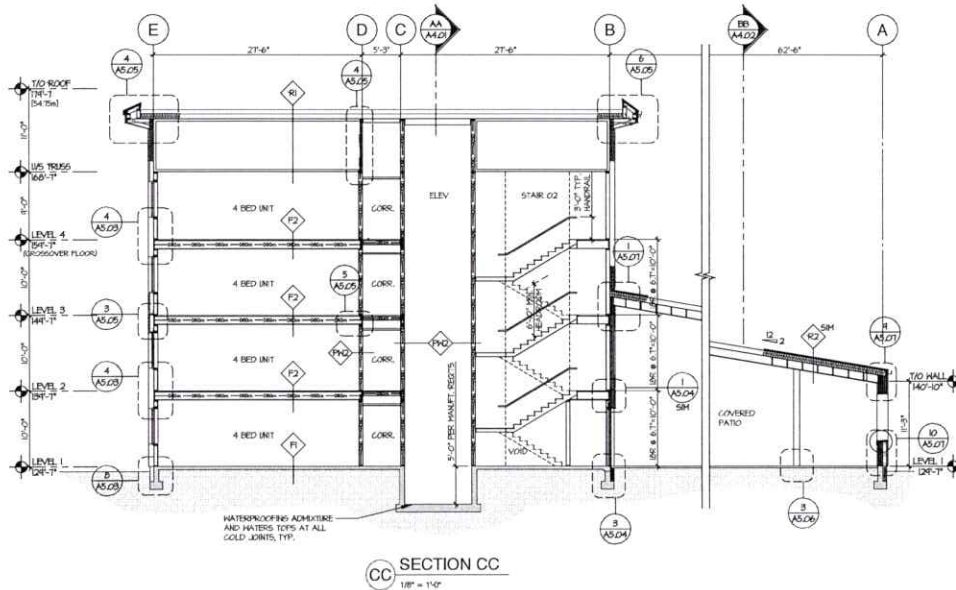
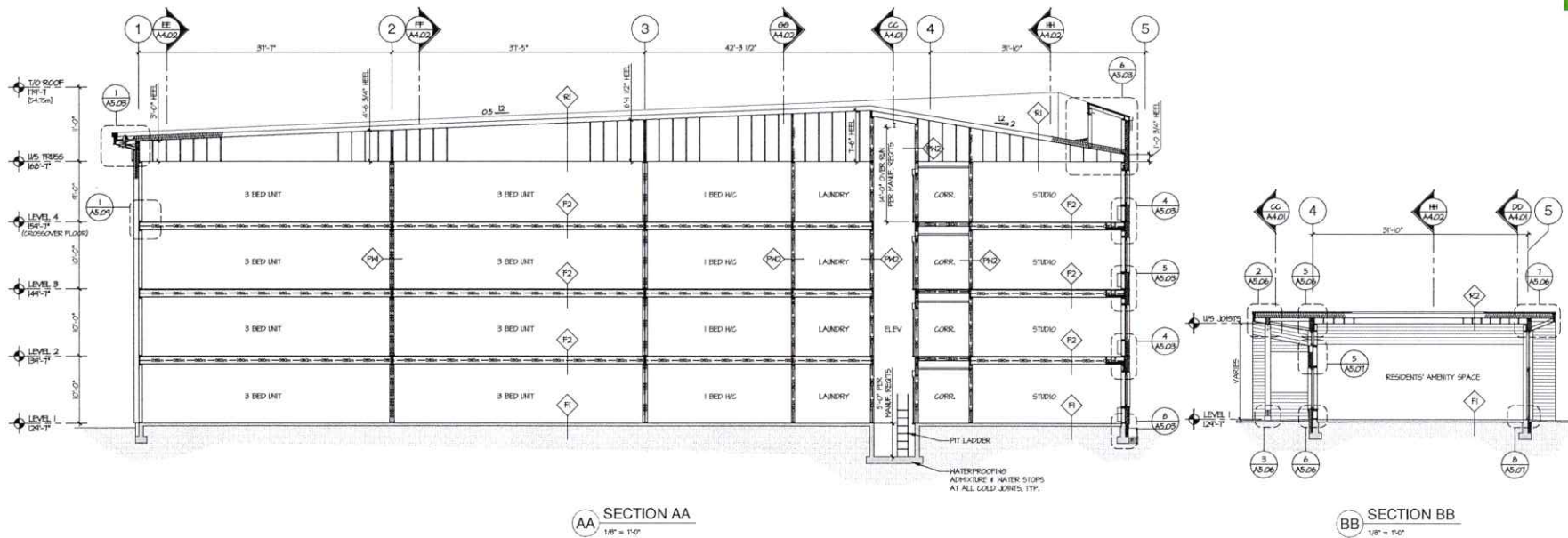
Written agreements shall have precedence over verbal conversations. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the architect shall be relieved of any liability from the completion and execution thereof. Shop drawings shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

CLIENT
**CITAPI MAHTII
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2022-04-26 | REISSUED FOR RE-ZONING
2 | 2022-05-12 | 50% BC HOUSING REVIEW
3 | 2022-06-10 | 70% REVIEW
4 | 2022-11-18 | RE-ISSUED FOR DP

NO. | DATE | REVISION



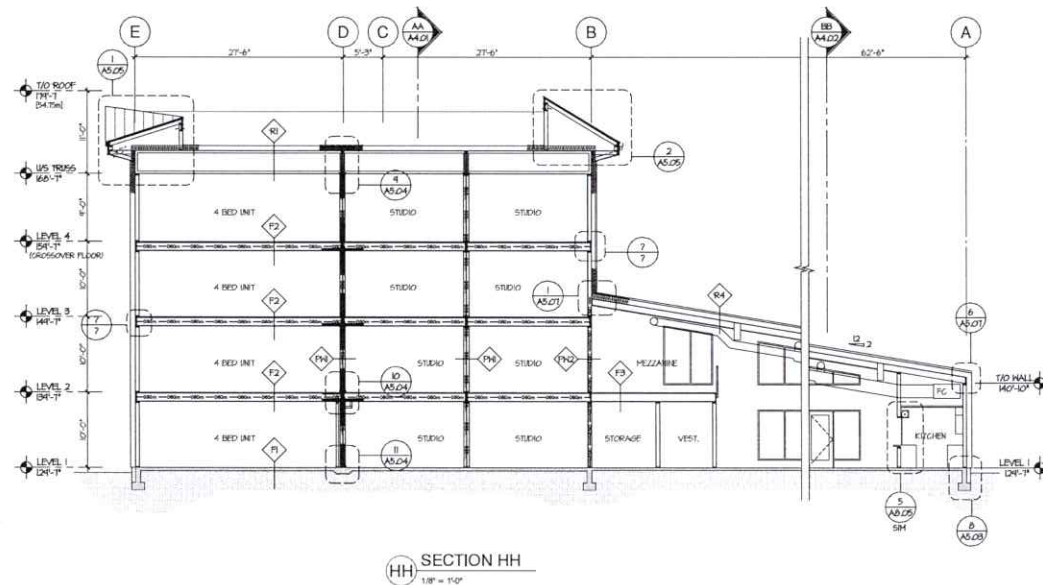
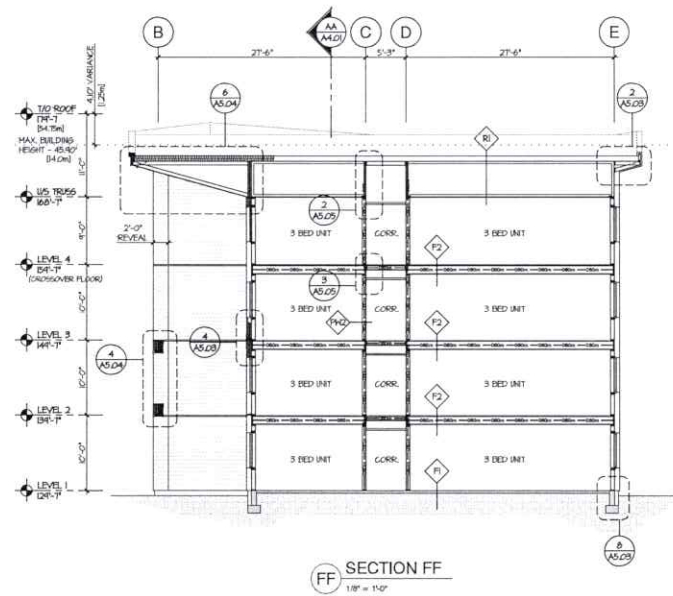
PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

BUILDING SECTIONS

This drawing, as an instrument of service, is the property of dys architecture and shall not be reproduced without their permission and without designating their name. All designs and other information shown on this drawing are for use on the project only and shall not be used for any other purpose without written permission of dys architecture. Payment of all fees due to dys architecture as to the date of use of this drawing is a condition precedent to the use thereof.

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SCALE 1/8" = 1'-0"
DATE 2022-06-10



4210 CEDARWOOD STREET
PORT ALBERNI, BC

BUILDING SECTIONS

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dyx architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Once drawings shall be submitted, dyx architecture for review before proceeding with fabrication.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

CLIENT
**CITATAPI MAHTII
(HOUSING) SOCIETY**

NO.	DATE	ISSUE
1	2022-04-26	REISSUED FOR RE-ZONING
2	2022-05-12	15% BC HOUSING REVIEW
3	2022-06-10	70% REVIEW
4	2022-11-18	RE-ISSUED FOR DP

NO.	DATE	REVISION
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PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

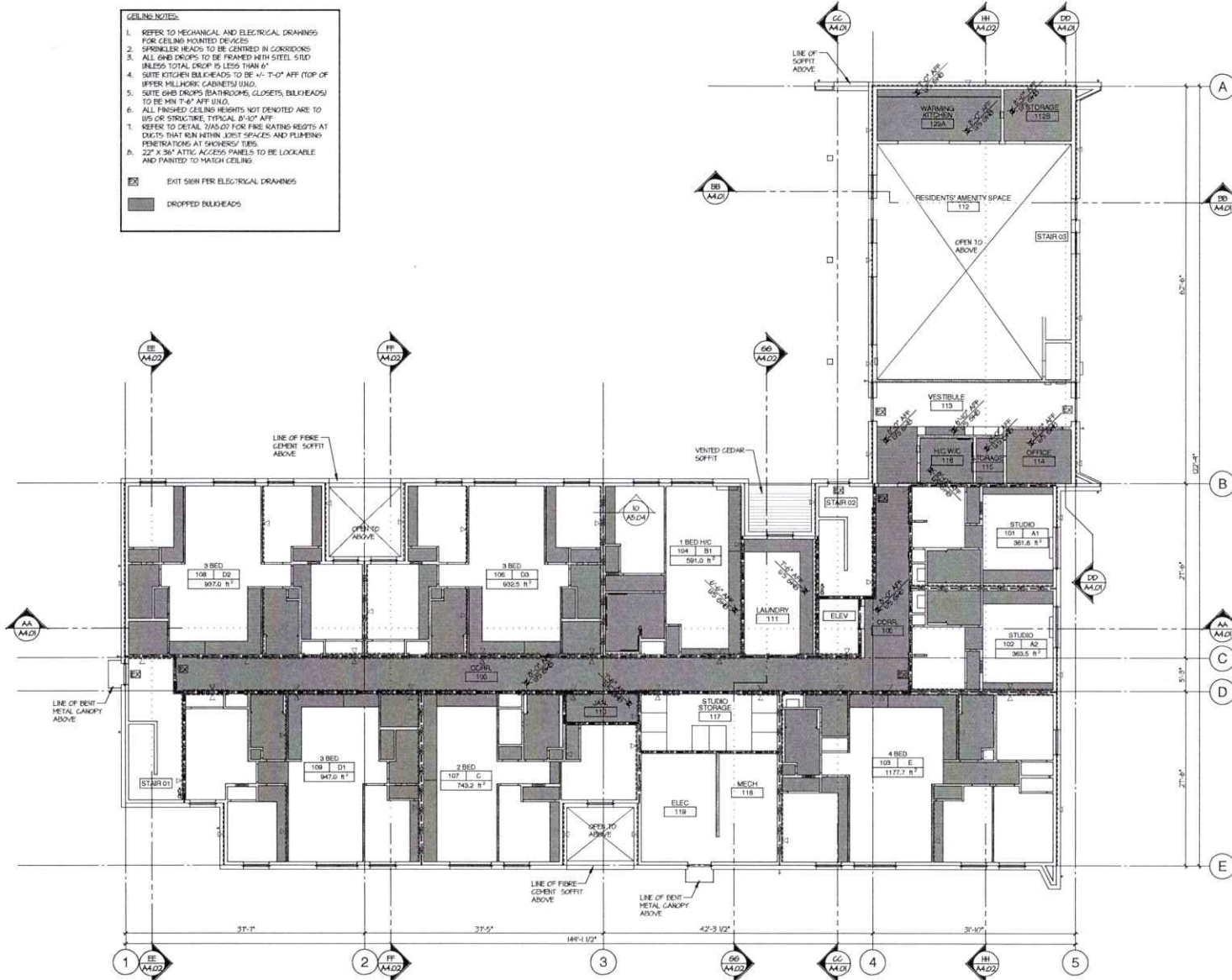
LEVEL 1 REFLECTED CEILING PLAN

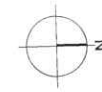
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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and any variations shall be reflected on any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to dys architecture for review before proceeding with fabrication.

PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-06-10

A6.01





CLIENT
**CITAPI MAHTU
(HOUSING) SOCIETY**

NO. | DATE | ISSUE
1 | 2022-04-26 | REISSUED FOR RE-ZONING
2 | 2022-05-12 | 50% BC HOUSING REVIEW
3 | 2022-06-10 | 70% REVIEW
4 | 2022-11-18 | RE-ISSUED FOR DP

NO. | DATE | REVISION



PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

**LEVEL 2 REFLECTED
CEILING PLAN**

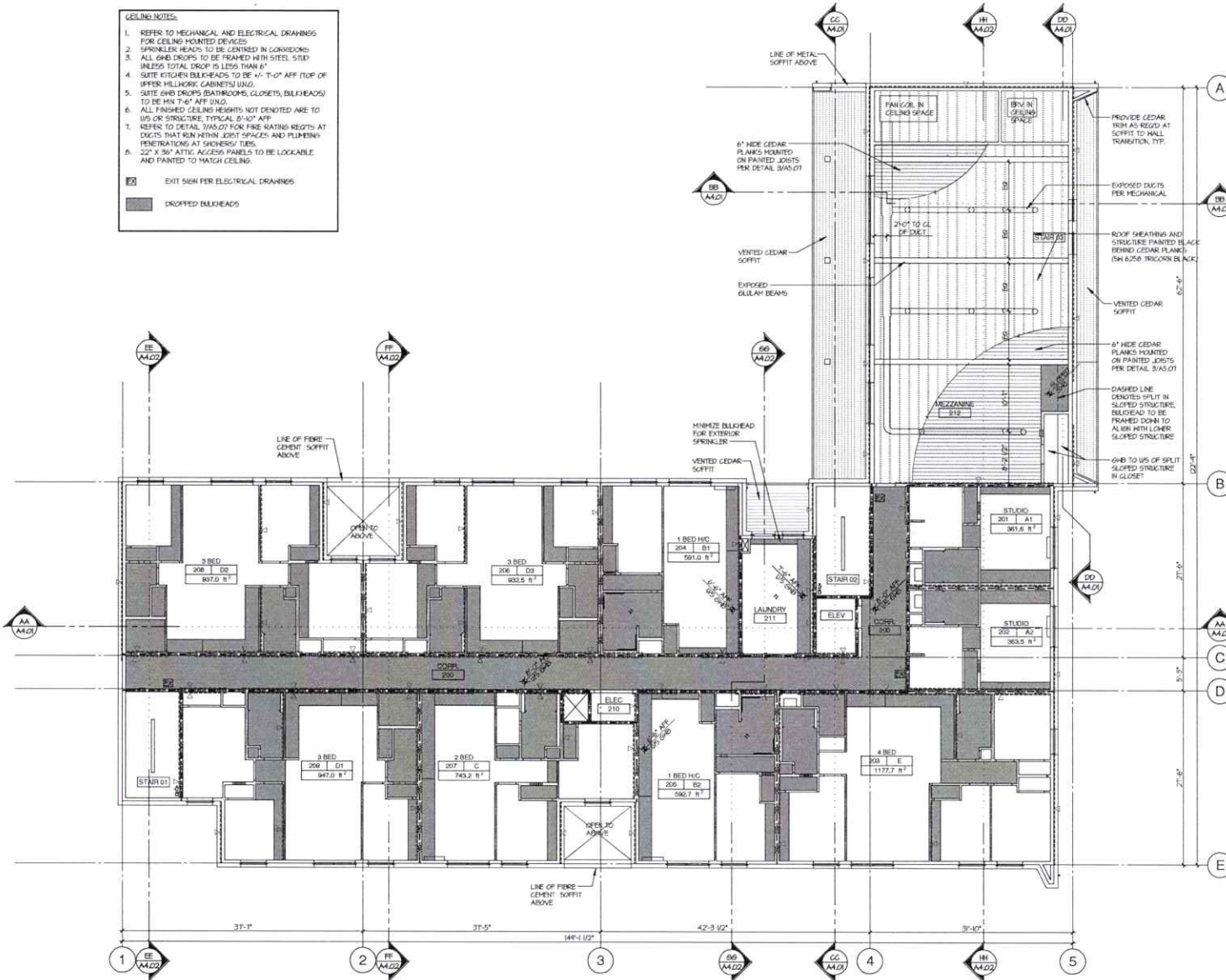
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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability for any errors or omissions in the drawings. Shop drawings shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A220484
DRAWN DJ CHECKED DS
SCALE 1/8" = 1'-0"
DATE 2022-08-10

A6.02

- CEILING NOTES:**
1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING MOUNTED DEVICES
 2. SPRINKLER HEADS TO BE CENTRED IN CORRIDORS
 3. ALL GND DROPS TO BE FRAMED WITH STEEL STRIP UNLESS TOTAL DROP IS LESS THAN 6"
 4. SUITE KITCHEN BULKHEADS TO BE 4"-T-0" AFF (TOP OF UPPER WELLSHORE CABINETS) UNL.
 5. SUITE GND DROPS (BATHROOMS, CLOSETS, BULKHEADS) TO BE MIN T-6" AFF UNL.
 6. ALL FINISHED CEILING HEIGHTS NOT DENOTED ARE TO US OR STRUCTURE, TYPICAL 8'-10" AFF
 7. REFER TO DETAIL 21A.07 FOR FIRE RATING HEIGHTS AT DOORS THAT RUN WITHIN JOIST SPACES, AND PLUMBING PENETRATIONS AT SHOWERS/TUBS
 8. 22" X 36" ACCESS PANELS TO BE LOCKABLE AND PAINTED TO MATCH CEILING
- EXIT SIGN PER ELECTRICAL DRAWINGS
- DROPPED BULKHEADS



CLIENT

CITAPI MAHTII
(HOUSING) SOCIETY

NO. | DATE | ISSUE

- 1 [2022-04-26] ISSUED FOR RE-ZONING
- 2 [2022-05-12] 150% BC HOUSING REVIEW
- 3 [2022-06-10] 170% REVIEW
- 4 [2022-11-18] RE-ISSUED FOR DP

NO. | DATE | REVISION

PROJECT

4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

LEVEL 3 REFLECTED
CEILING PLAN

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PROJECT A220484

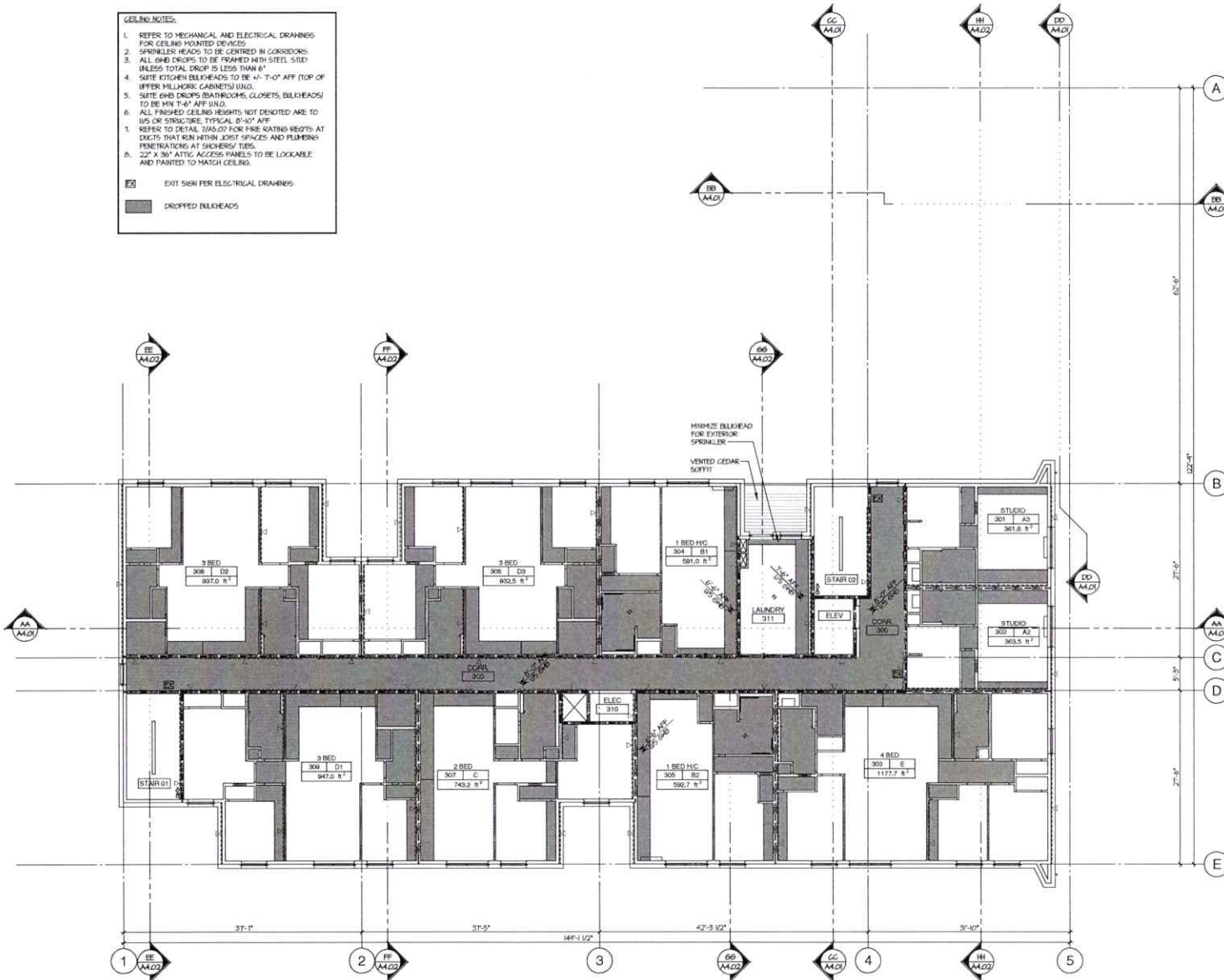
DRAWN ☒ CHECKED ☒

SCALE 1/8" = 1'-0"
DATE 2022-06-10



A6.03

- CEILING NOTES:**
1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING MOUNTED DEVICES.
 2. SPRINKLER HEADS TO BE CENTRED IN CORRIDORS.
 3. ALL GND DROPS TO BE FRAMED WITH STEEL STUD UNLESS TOTAL DROP IS LESS THAN 6".
 4. SATE KITCHEN BULKHEADS TO BE 4" T-0" AFF (TOP OF UPPER MILLWORK CABINETS UNO).
 5. SATE GND DROPS (BATHROOMS, CLOSETS, BULKHEADS) TO BE MIN 1'-6" AFF UNO.
 6. ALL FINISHED CEILING HEIGHTS NOT DENOTED ARE TO US OR STRUCTURE, TYPICAL 8'-0" AFF.
 7. REFER TO DETAIL 71A5.07 FOR FIRE RATING REQTS AT DOORS THAT RUN WITHIN JOIST SPACES AND PLUMBING PENETRATIONS AT SINKERS/ TIES.
 8. 22" X 36" ATTIC ACCESS PANELS TO BE LOCKABLE AND PAINTED TO MATCH CEILING.
- ☒ EXT SIGN PER ELECTRICAL DRAWINGS
- ☒ DROPPED BULKHEADS



CITAAPI MAHTII
(HOUSING) SOCIETY

1 | 2022-04-26 | REISSUED FOR RE-ZONING
2 | 2022-05-12 | 50% BC HOUSING REVIEW
3 | 2022-06-10 | 70% REVIEW
4 | 2022-11-18 | RE-ISSUED FOR DP

NO.	DATE	REVISION
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**LEVEL 4 REFLECTED
CEILING PLAN**

Wooden dimensions shall have precedence over steel dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **dye architecture** shall be in interest of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **dye architecture** for review before proceeding with installation.

SCALE: 1/8" = 1'-0"
DATE: 2022-06-10

A6.04



WINDOW SCHEDULE

TYPE 1
DOUBLE GLAZED VINYL WINDOW
4'-0" X 6'-0"

TYPE 2
DOUBLE GLAZED VINYL WINDOW
6'-4" X 5'-0"
SILL HEIGHT - 1'-4"
HARDWARE TO BE MAX 40" A.F.F.
IN ACCESSIBLE SITES

TYPE 3
DOUBLE GLAZED VINYL DOOR
3'-4" X 4'-0"
SILL HEIGHT - 2'-6"

TYPE 4
DOUBLE GLAZED VINYL DOOR
3'-0" X 7'-0"
(DOOR LEAF SIZE)

TYPE 5
NOT USED

TYPE 6
DOUBLE GLAZED CURTAIN WALL
6'-2" X 7'-0"

TYPE 7
DOUBLE GLAZED CURTAIN WALL
10'-6" X 7'-0"

TYPE 8
DOUBLE GLAZED CURTAIN WALL
10'-6" X 4'-0"
2-1/2 SLOPED TOP MELLON

TYPE 9
DOUBLE GLAZED CURTAIN WALL
6'-4" X 7'-1 1/2"
2-1/2 SLOPED TOP MELLON

TYPE 10
DOUBLE GLAZED CURTAIN WALL
3'-4" X 10'-0"
2-1/2 SLOPED TOP MELLON

TYPE 11
DOUBLE GLAZED CURTAIN WALL
3'-4" X 10'-0"
2-1/2 SLOPED TOP MELLON

TYPE 12
DOUBLE GLAZED CURTAIN WALL
10'-6" X 6'-0"

TYPE 13
INTERIOR ALUMINUM WINDOW
4'-0" X 3'-0"

TYPE 14
INTERIOR ALUMINUM WINDOW
(COLOR: BLACK)
5'-0" X 3'-0"

dys architecture		DOOR SCHEDULE		LEGEND / ABBREVIATIONS		Date: November 18, 2022		
280 - 1770 Burnard Street Vancouver, BC V6J 3K7 tel: 604.689 7710 fax: 604.689 6929 email: info@dysarchitecture.com		Project: Chinapi Mall Address: 4219 Cedarwood St. Port Alberni, BC Project ID: A22044		WDS Wood HMS Hollow Metal IMS Insulated Hollow Metal HVC Hollow Core SC Solid Core Window (Aluminum) CC Clear Coat Finish PSF Fully Insulated Pressed Steel Frame (Thermally Broken) VGS Variable Glaze PS Specialty Poly Panel Door Frame		WDS Vinyl Door Assembly FG Fiberglass Plastic House Certified AL Aluminum HMS Hollow Metal MS Minor WGL Window Glass TKL Tempered Glass WV Window Film GL Glass FRG Fire Rated Glass ST Security Glass		PF: Pre-Finished PT: Paint PL: Plastic Laminates WGL: Window Glass TKL: Tempered Glass WV: Window Film GL: Glass FRG: Fire Rated Glass ST: Security Glass
DOOR NO.	ROOM NAME / LOCATION	DOOR SIZE	DOOR	FRAME	LOCK SET	FINISH	REMARKS	
100A	Store 01	3'-0" x 7'-0" 1.5M	WDS	PS	TKL	PS	Thermally Broken Frame, Nitrogen Argon, End only	

Diagram illustrating five types of flush doors (Type 1 to Type 5) with their dimensions and components:

- TYPE 1 FLUSH DOOR:** Shows door viewers as scheduled, kick plate as scheduled, and dimensions for Scheduled Width and Scheduled Height. A note indicates "VARIES TO FLOOR".
- TYPE 2 FLUSH DOOR w/ LITE:** Shows a door with a lite and dimensions for Scheduled Width, Scheduled Height, and Max Area of Curve.
- TYPE 3 FLUSH DOOR w/ LITE:** Shows a door with a lite and dimensions for Scheduled Width, Scheduled Height, and Max Area of Curve.
- TYPE 4 FLUSH DOOR w/ LITE:** Shows a door with a lite and dimensions for Scheduled Width, Scheduled Height, and Max Area of Curve.
- TYPE 5 FLUSH DOOR w/ LITE:** Shows a door with a lite and dimensions for Scheduled Width, Scheduled Height, and Max Area of Curve.

TYPE 6
COUNTER TOP ROLL SHUTTER DOOR

6'-0"

3'-0"

2'-0"

VARIES TO FLOOR

TYPE A
SINGLE DOOR
7" FRAME AROUND

SCHEDULED WIDTH

SCHEDULED HEIGHT

VARIES TO FLOOR

TYPE B
DOUBLE DOOR
7" FRAME AROUND

SCHEDULED WIDTH

SCHEDULED HEIGHT

VARIES TO FLOOR

TYPE 6
COUNTER TOP ROLL SHUTTER DOOR

6'-0"

3'-0"

2'-0"

VARIES TO FLOOR

TYPE A
SINGLE DOOR
7" FRAME AROUND

SCHEDULED WIDTH

SCHEDULED HEIGHT

VARIES TO FLOOR

TYPE B
DOUBLE DOOR
7" FRAME AROUND

SCHEDULED WIDTH

SCHEDULED HEIGHT

VARIES TO FLOOR

DGS Architecture		LEGEND / ABBREVIATIONS										Date: November 18, 2022					
DOOR SCHEDULE		Project: Vinyl Vinyl Door Assembly										Issue / Revision					
Client: Citipati Mahati		FF: Pre-finished										No.	Date				
Address: 421 Colonnade St, Port Adelaide, BC		PT: Paint										1					
Project #: A220484		AL: Aluminum										2					
		WD: Wood										3					
		HMB: Insulated Hollow Metal										4					
		HC: Hollow Core										5					
		SC: Solid Core Wood (Maple)										6					
		CC: Clear Coat Finish										7					
		RSP: Fully Glazed Thermal SS Frame (Thermally Broken)										8					
		VS: Ventilation Grille										9					
		PS: Specialty Fire Rated Door Frame										10					
		LSG: Laminated Security Glass										11					
DOOR NO.		ROOM NAME / LOCATION		DOOR SIZE		DOOR		FRAME		LOOK SET		FIRE		MISC.		REMARKS	
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Chamber	Chamber		
		Width	Height	Type	Material	Frame	Finish	Frame	Finish	Primary	Chamber	Chamber	Chamber	Ch			

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tel 604 669 7710 www.dysarchitecture.com

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NO. | DATE | ISSUE

1	2022-04-26	REISSUED FOR RE-ZONING
2	2022-05-12	50% BC HOUSING REVIEW
3	2022-06-10	70% REVIEW
4	2022-11-18	RE-ISSUED FOR DP

NO. | DATE | REVISION

PROJECT
4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

WINDOW AND DOOR SCHEDULES

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PROJECT A220484
DRAWN DI CHECKED DS
SCALE 1/4" = 1'-0"
DATE 2022-06-10

A9.01

Material Legend

SPEC SECTION	MATERIAL	CODE	DESCRIPTION	COLOR/ CODE	NOTES
09 00 00	Faint	F1	Shannon Williams	Cotton White SW 7104	All walls and ceilings, base and trim, U.N.O.
09 00 00	Faint	F2	Shannon Williams	TRB	Doors and Frames as noted
9 00 00	Faint - Feature Colour	F3	Shannon Williams	Blue Chip SW 6659	Level 1 suite entry doors (both sides); frames to be F2 & 5-lire cement feature colour
9 00 00	Faint - Feature Colour	F4	Shannon Williams	Goatsk SW 6719	Level 2 suite entry doors (both sides); frames to be F2 & 5-lire cement feature colour
9 00 00	Faint - Feature Colour	F5	Shannon Williams	Shag Stopper SW 7588	Level 3 suite entry doors (both sides); frames to be F2 & 5-lire cement feature colour
9 00 00	Faint - Feature Colour	F6	Shannon Williams	Daisy SW 9010	Level 4 suite entry doors (both sides); frames to be F2 & 5-lire cement feature colour
9 00 00	Faint - Exterior	F7	Shannon Williams	Pewter Cast SW 7673	As noted on Building Elevations
9 00 00	Faint - Exterior	F8	Shannon Williams	Rockwood Jade SW 2812	As noted on Building Elevations
9 00 00	Faint - Exterior	F9	Shannon Williams	Ironbark Black SW 6558	As noted on Building Elevations
10 00 00	Wall Covering	WC1	Fibre-reinforced Plastic (FRP) panels	White	Maintenance & Janitor rooms
10 00 00	Wall Covering	WC2	Smooth texture	TRB	See list for elevations by locations & sizes
10 00 00	Wall Covering	WC3	SM 3rd Wrap Film U180x10-cw	TRB	Wall Protection Mem.
10 00 00	Corner Guards	CG1	SM 300x600 Overlaminates	Clear	Common areas as noted on floor plans
			US-300 2" leg size, height as noted on drawings		
09 65 00	Sheet Vinyl Flooring	SP1	Elegance Commercial, Sheet Vinyl Flooring	Beard Lined Oak	Reception Suite, Level 1 Corridor, Vestibule and Office
09 65 00	Slip-resistant Sheet Vinyl Flooring	SP2	Polylux Perfection	Toasted Almond	Suite Washrooms
09 65 00	Slip-resistant Sheet Vinyl Flooring	SP3	Playtex Perfection	Garden Sage	Reception, Common W/C & Service Areas
09 65 00	Vinyl Sheet System	SP4	Tarkett Vinyl Sheet Treats	TRB	Include vinyl stringer and riser for a complete system
09 65 00	Rubber Flooring	SP5	Safe-T-Grip, low GR tape with contrasting colour	TRB	Reception Counter
09 65 00	Carpet Tile	CP11	Johnstone Country Tile Fast Lane	TRB	Reception Counter
			2 mm thickness		
			Treasure Centre - Hypocenters	Hypocenters 2	Level 2-4 Corridors and Lobby
			Fire Application, Antlion Lamina Hygien, 100% solution vinyl		
	Increased Entry Mat	CP12			Vestibule
09 20 00	4" Paint Grade Wood Base	B1	4" x 12" Flat stock painted base	Cotton White SW 7104	Common Areas
09 20 00	4" Paint Grade Wood Base	B2	4" x 12" Flat stock painted base	Cotton White SW 7104	Reception Suites
09 65 00	4" Receptor Base	B3	Johnstone - Traditional Base, 4" high	TRB	Service Areas and Stairs
09 20 00	4" Paint Grade Wood Door Trim	B4	2" x 12" Flat stock painted trim, miter corners	Cotton White SW 7104	All wood door frames
09 20 00	4" Receptor Base	B5	2" x 12" Flat stock painted trim, miter corners	Cotton White SW 7104	Reception Suites
09 65 00	4" Receptor Base	B6	Johnstone - Traditional Base, 4" high	TRB	Reception Suite Washrooms
09 45 00	Plastic Laminates	PL1	Artistic, Post-formed, c/w 3/8" backsheet, Exposed edges	Nano Clay	Suite Kitchens & Common Area Countertops
09 45 00	Plastic Laminates	PL2	Artistic, Post-formed, c/w 3/8" backsheet, Exposed edges	Organic Illusion	Suite Washroom Countertops
09 45 00	Plastic Laminates	PL3	Artistic, Flat panel	Downtown Urban Walnut	Suite Kitchens Vertical Surfaces
09 45 00	Plastic Laminates	PL4	Artistic, Flat panel	Brown Fried Alga	Suite Washroom Vertical Surfaces
09 45 00	Plastic Laminates	PL5	Artistic, Flat panel	Natural Asian Walnut	Common Area Vertical Surfaces
09 45 00	Melamine	PL6	Artistic, Flat panel	White	All Cabinet interiors U.N.O.
12 21 00	Black out Curtains	CR		TRB	All Suite exterior windows, Office interior windows

	CONSTRUCTION ASSEMBLIES	FIRE RATINGS	SIC RATINGS
FLOORS	P CONCRETE SLAB ON GRADE FLOOR FINISH AS SPECIFIED CONCRETE SLAB PER STRUCTURAL 10 MIL POLY VAPOR BARRIER (EVAL. ALL JOINTS AND APPROX. READING) DRAINAGE MATERIAL PER CIVIL		
	P-2 TYPICAL RATED FLOOR FLOOR FINISH AS SPECIFIED 1" GF CONCRETE TOPPING 1" FIBROUS FLOOR HEATING PER STRUCTURAL (GILDED AND SORBEET) 9" GF FLOOR JOISTS PER STRUCTURAL 1" GF ABSORPTIVE MATERIAL AND RESILIENT CHANNELS 6" 24" O.C. 2 LAYERS 5/8" TYPE X GIBD	1 HOUR APPENDIX D TABLE D.3.4.6F D.3.4.6F D.3.4.6D AND D.3.8.1J	94 TABLE 10.3.13B F250
	P-3 RATED FLOOR FLOOR FINISH AS SPECIFIED 1" GF CONCRETE TOPPING FIBROUS SHEATHING PER STRUCTURAL (GILDED AND SORBEET) 9" GF FLOOR JOISTS PER STRUCTURAL 1" GF ABSORPTIVE MATERIAL AND RESILIENT CHANNELS 6" 24" O.C. 5/8" GIBD		

FINISH SCHEDULE

Project:	Citami Mahtū (Housing) Society	Issue / Revision
Address:	4210 Cedarwood Street Port Aberto, BC	No. Date
Project No:	A220484	1
		2
		3
		4

Room No.	Room Name	Floor		Base	North		East		South		West		Ceiling		Remarks	A
		Finish	Type		Finish	Base	Finish	Base	Finish	Base	Finish	Base	Finish	Base		
Vertical Circulation																
01	Stair 01	SP2504	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	PLAM at all panels to be selected from elevator standard colours. Use aluminum handrail.
02	Stair 02	SP2504	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
03	Stair 03	SP2504	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
04	Elevator 01	SFE	PLAM	PLAM	TED	PLAM	TED	PLAM	TED	PLAM	TED	PLAM	TED	SIS		
Level 1																
100	Corridor	SP1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
110	Corridor	SP1VAC1	SP3	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Refer to mirror elevations, Core base
111	Landry	SP2	SP3	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Core base
112	Reception/Assembly Space	SP1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Polish Concrete floor. Order old ceiling
113	Storage kitchen	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
120	Storage	SP2	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
113	Corridor	SP1VAC2	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Refer to mirror elevations.
114	Office	SP1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
115	Storage	SP1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
116	Office	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Core base
117	Studio Storage	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
118	Workshop	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
119	Reception	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
120	Maintenance	QWB2	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	
121	Store	QWB2	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	
122	Reception	QWB2	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	BLOCK	83AL	
123	Garage/Ramping	QWB2	-	BLOCK	P1	BLOCK	P1	BLOCK	P1	BLOCK	P1	BLOCK	P1	83AL	83AL	
Level 2																
200	Corridor	QWB1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
210	Reception desk	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
211	Landry	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
212	Mid kitchen	QWB1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Order old ceiling
Level 3																
300	Corridor	QWB1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
310	Reception desk	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
311	Landry	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
Level 4																
400	Corridor	QWB1	81	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	Reception desk	SP3	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
412	Landry	SP2	83	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
INCIDENTAL BATHS																
410	McNair Dining Lobby	SP1	82	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	Reception Reception	SP1	82	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	McNair Access to Ballrooms	SP2	SP2	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	Core base
410	McNair Access to North	SP2	SP2	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	Storage	SP1	82	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	Bedrooms	SP1	82	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	
410	Bedrooms	SP1	82	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	QWB	P1	

	CONSTRUCTION ASSEMBLIES	FIRE RATINGS	SIC RATINGS
WALLS & FLOORING	♦ H INTERIOR HALL 1/2" GHI 2"x4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 1/2" GHI		
	♦ IC INTERIOR HALL & PLUMBING KITCHENS 1/2" GHI 2"x4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 1/2" GHI		
	♦ H GATED HALL 1/2" GHI 2"x4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 1/2" MINERAL FIBRE INSULATION (MIN. MASS O/Lgth) 5/8" TYPE 'X' GHI	1 HOUR BCCG APPENDIX D TABLE D-2.3-A - E D-2.3-A-E-I D-2.3-A-E	30-34
	♦ IC INTERIOR HALL FINISHING FRAMED HALL BLOCK MAIL 1/2" AIR SPACE OR AG DISPERSED 2"x4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 1/2" GHI		
	** INTERIOR LOAD BEARING WALLS: ===== INSTALL 5/8" TYPE 'X' GHI IN LINES OF 1/2" GHI AT LOAD BEARING WALLS	1 HOUR	
PARTY WALLS	♦ TH RESIDENTIAL SUITE TO SUITE 5/8" TYPE 'X' GHI SHEAR HALL SHEATHING (WHERE NOTED ON STRUCT.) 3/4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 3/2" MINERAL FIBRE INSULATION (MIN. MASS O/Lgth) SHEAR HALL SHEATHING (WHERE NOTED ON STRUCT.) 7" AIR GLE 2"x4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 3/2" MINERAL FIBRE INSULATION (MIN. MASS O/Lgth) 5/8" TYPE 'X' GHI	1 HOUR BCCG APPENDIX D TABLE D-2.3-A - E D-2.3-A-E-I D-2.3-A-E	51 TABLE 9.031-A TYPE H30
	♦ TH RESIDENTIAL SUITE TO COMMON AREA 5/8" TYPE 'X' GHI RESIDENT CHANNELS @ 24" O.C. SHEAR HALL SHEATHING (WHERE NOTED ON STRUCT.) 3/4" WOOD STUDS @ 16" O.C. - SEE STRUCTURAL 3/2" MINERAL FIBRE INSULATION (MIN. MASS O/Lgth) SHEAR HALL SHEATHING (WHERE NOTED ON STRUCT.) 5" TYPE 'X' GHI	1 HOUR BCCG 11-45-103 APPENDIX D TABLE D-2.3-A - E D-2.3-A-E-I D-2.3-A-E	50-54 11C2, 11-45-103
	* AT DOUBLE SHEAR HALL LOCATIONS DELETE RESIDENT CHANNELS AND SUBSTITUTE 1 LAYER GHI WITH 5/8" TYPE 'X' ACCESSORY GHI		

		CONSTRUCTION ASSEMBLIES	FIRE RATINGS	STC RATINGS
SHAFT	59A	SHAFT HALL 1 LAYER 5/8" MINOR TYPE 1 GYPSUM PANELS 2 1/2" STEEL STUDS @ 24" O.C. 1" MINOR SHAFT LINER PANEL RUST WALLS GREATER THAN 10'-0" TALL TO BE ENGINEERED	1 HOUR ULC DESIGN W40	34-38
	59B	MASONRY BRIDGE WALL 1/2" (THIN) MASONRY BLOCK HALL NOTE: USE ULC CERTIFIED MASONRY BLOCK LOOSE FILL OR SOLID FRONT	1 HOUR ULC DESIGN W40S	
ROOFS	60	TYPICAL FLAT ROOF 2 PLY 30# REINFORCING MEMBRANE ASPHALT PROTECTION BOARD 8" RIGID POLYSTYRENE INSULATION R50 TOTAL AIR VAPOR BARRIER FULLY ADHERED TO SHEATHING AND AT PENETRATIONS, TYPICAL PLYWOOD SHEATHING PER STRUCTURAL SLOPED HOOD "BROGUE" PER STRUCTURAL 5/8" G40		
	62	INSULATED SLOPED METAL ROOF STANDING SEAM METAL ROOF SYSTEM SLIP SHEET PER MANUFACTURER'S RECOMMENDATION 1 PLY 5/8" MODIFIED BITUMEN UNDERLAMENT PLYWOOD SHEATHING 8" RIGID POLYSTYRENE INSULATION R50 TOTAL THERMALLY BROKEN Z-BARRS @ 24" O.C. AIR VAPOR BARRIER FULLY ADHERED TO SHEATHING AND AT PENETRATIONS, TYPICAL PLYWOOD SHEATHING PER STRUCTURAL SLOPED HOOD 205TS PER STRUCTURAL P X 6" HOOD SLATS (OR 5/8" HOD PER RCP)		
	63	BUILT-UP SLOPED METAL ROOF STANDING SEAM METAL ROOF SYSTEM SLIP SHEET PER MANUFACTURER'S RECOMMENDATION 1 PLY 5/8" MODIFIED BITUMEN UNDERLAMENT PLYWOOD SHEATHING BUILT-UP HOOD TRAINING PER STRUCTURAL		
	64	AGGRESSIVE DRAINAGE P X 6" GRC FLANGES ON P X P.T. HODD SLEEPERS NOT FASTENED THROUGH MEMBRANE 60 MI PVC MEMBRANE 2" X 12" HODD 205TS RAMPED FOR MIN 2% SLOPE CEDAR SHIPIT CAN STRIP VENTS		

260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604 669 7710 www.dysarchitecture.com

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4 | 2022-11-18 | RE-ISSUED FOR DP

NO.	DATE	REVISION
-----	------	----------



PROJECT

4210 CEDARWOOD STREET

4210 CEDARWOOD STREET
PORT ALBERNI, BC

MATERIAL LEGEND, FINISH SCHEDULE AND CONSTRUCTION ASSEMBLIES

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PROJECT A220484

DRAWN BY:

100%

SCALE AS NOTE

A9-02